

9 January 2012

Dear Councillor

**DEVELOPMENT CONTROL COMMITTEE - TUESDAY, 17TH JANUARY 2012**

Please find enclosed location and layout plans for the planning applications, where applicable, that are to be considered at the above meeting of the Development Control Committee.

**Agenda No    Item**

4.    **Planning applications to be determined**

- a)    11/00764/OUT - 11 Sutton Grove, Chorley (Pages 1 - 2)
- b)    11/00875/FULMAJ - Land Formerly Talbot Mill, Froom Street, Chorley (Pages 3 - 6)
- c)    11/00934/REMAJ - Parcel F3 Buckshaw Central Avenue, Buckshaw Village, Lancashire (Pages 7 - 12)
- d)    11/00837/FULMAJ - Site 7 and 9 Buckshaw Avenue, Buckshaw Village, Chorley (Pages 13 - 28)
- e)    11/00871/FULMAJ - Former Initial Textile Services, Botany Brow and Willow Road, Chorley (Pages 29 - 34)
- f)    11/00892/FUL - Initial Textiles Services, Botany Brow Chorley (Pages 35 - 38)
- g)    11/01062/FUL - Land East of and adjacent to 99 Lakeland Gardens, Chorley (Pages 39 - 46)
- h)    11/00894/FULMAJ - Burrows Ltd, Wigan Road, Clayton-le-Woods, Leyland (Pages 47 - 50)
- i)    11/00977/FUL - Barratt Development, Pilling Lane, Chorley (Pages 51 - 54)

- j) 11/00974/REMMAJ - Land South of Buckshaw Avenue, Buckshaw Village, Chorley  
(Pages 55 - 56)
- k) 11/00874/FUL - 41 Wigan Road, Euxton, Chorley (Pages 57 - 58)
- l) 11/00989/FUL - Jumps Farm, 147 South Road, Bretherton (Pages 59 - 64)

Yours sincerely



Gary Hall  
Chief Executive

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Democratic and Member Services Officer  
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**Distribution**

1. Agenda and reports to all Members of the Development Control Committee.

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આ માહિતીનો અનુવાદ આપની પોતાની ભાષામાં કરી શકાય છે. આ સેવા સરળતાથી મેળવવા માટે કૃપા કરી, આ નંબર પર ફોન કરો: 01257 515822

ان معلومات کا ترجمہ آپ کی اپنی زبان میں بھی کیا جاسکتا ہے۔ یہ خدمت استعمال کرنے کیلئے براہ مہربانی اس نمبر پر ٹیلیفون

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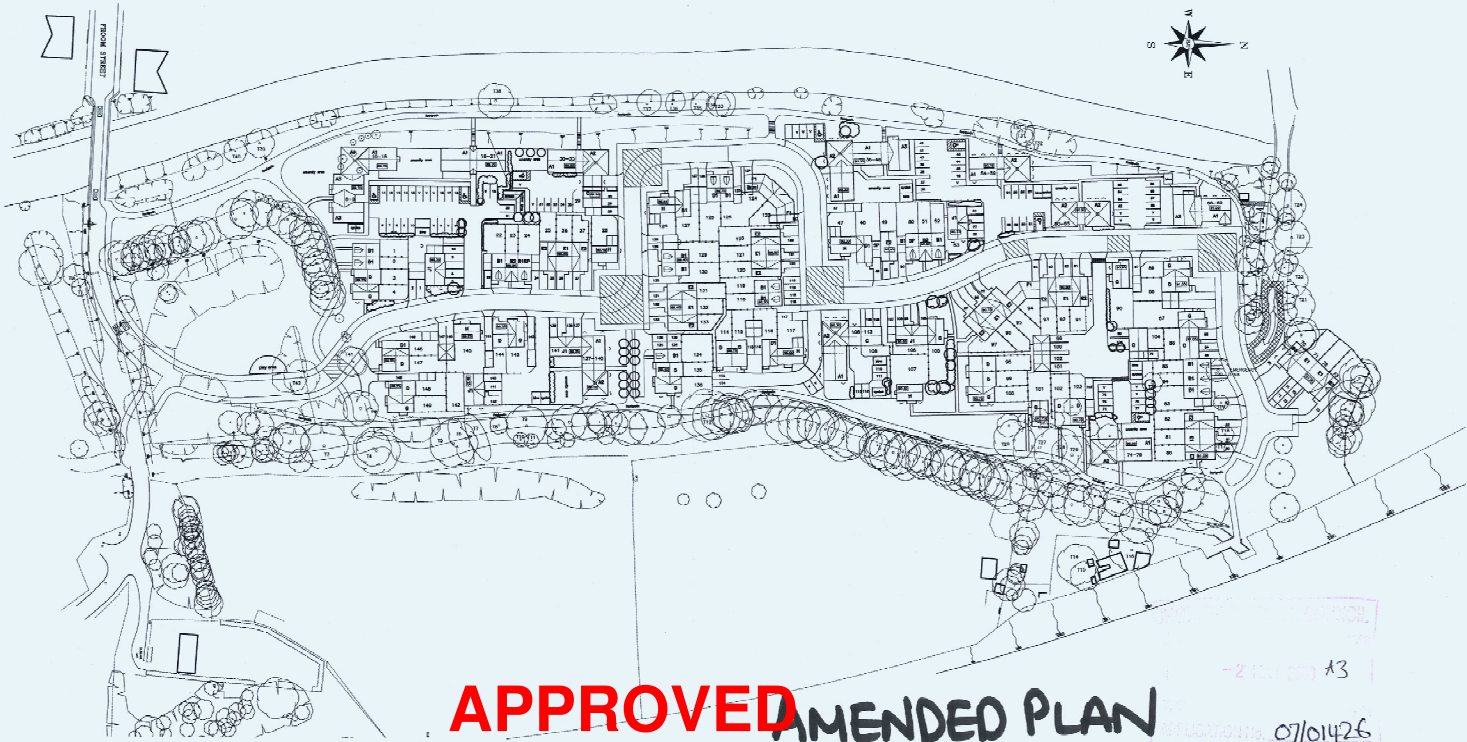
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**APPROVED AMENDED PLAN**  
**PLAN**

REVISIONS

A	Floor levels, accommodation schedule, roads and parking courts adjusted	JRM	21:09:07
B	Adjusted to TBA's requirements & TPO reference numbers added	JRM	14:11:07
C	Floor levels revised	RCD	13:12:07
D	Footpath link to subway added and plots 1-4 rotated	JRM	23:01:08
E	Plots 1-21, 29-46, 53-69, 105-113 and 137-149 adjusted	JRM	08:02:08
F	Plots 74-90 and 98-104 adjusted and accommodation schedule revised.	JRM	21:02:08
G	Disabled parking added	RCD	20:02:08
H	Plots 105, 106, 70 to 73 revised. Binstores revised	CAA	30:04:08

CLIENT <b>Baxter Estates Ltd.</b>				
PROJECT Proposed Residential Development on Former Site of Talbot Mill, Froom Street, Chorley.				
DRAWING TITLE Location Plan.				
DATE 21:09:07	SCALE 1:1250 @ A2	DRAWN JRM	DRWG No. 07/091/L01	REV H

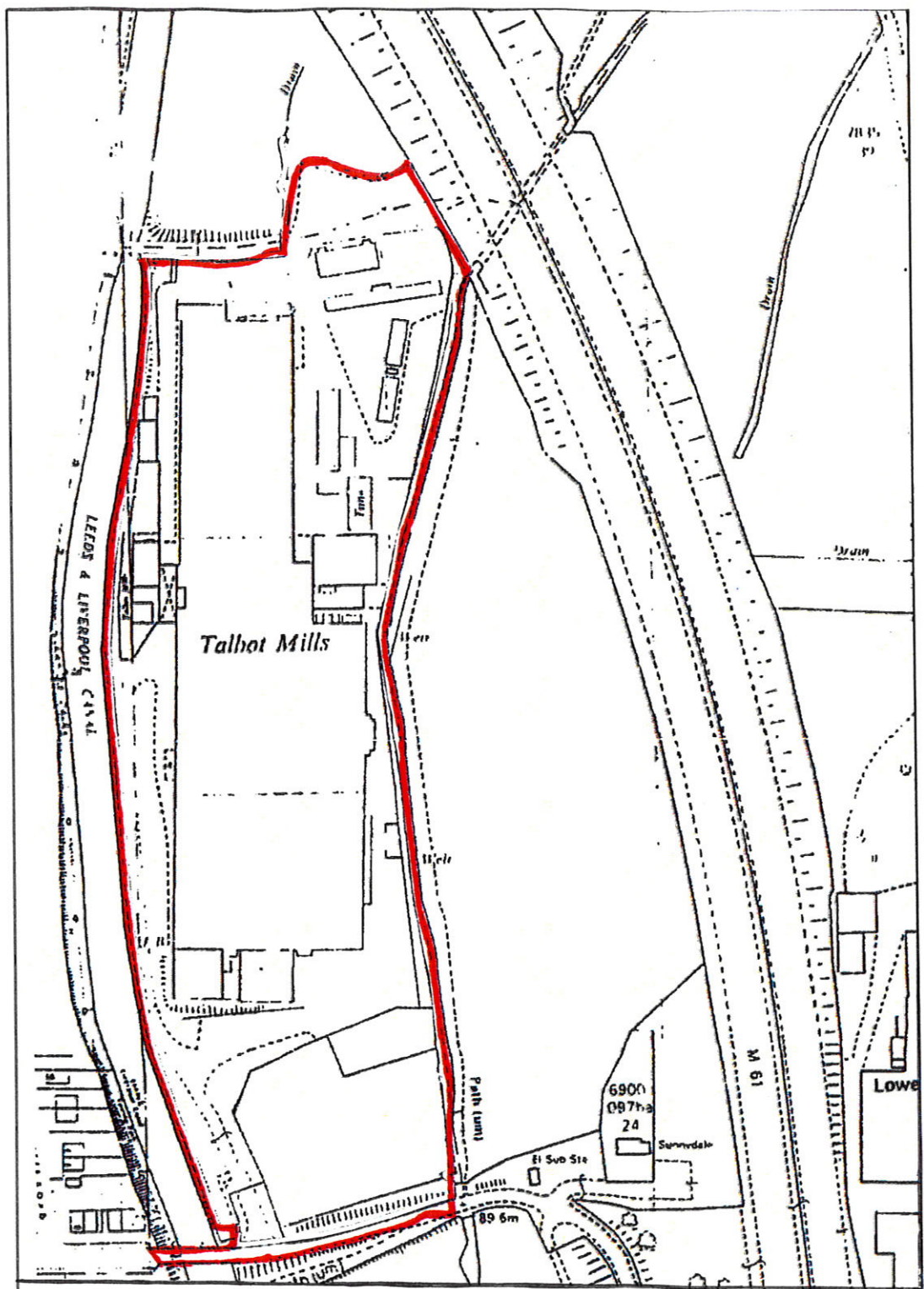
**LMP**  
ARCHITECTURAL CONSULTANTS

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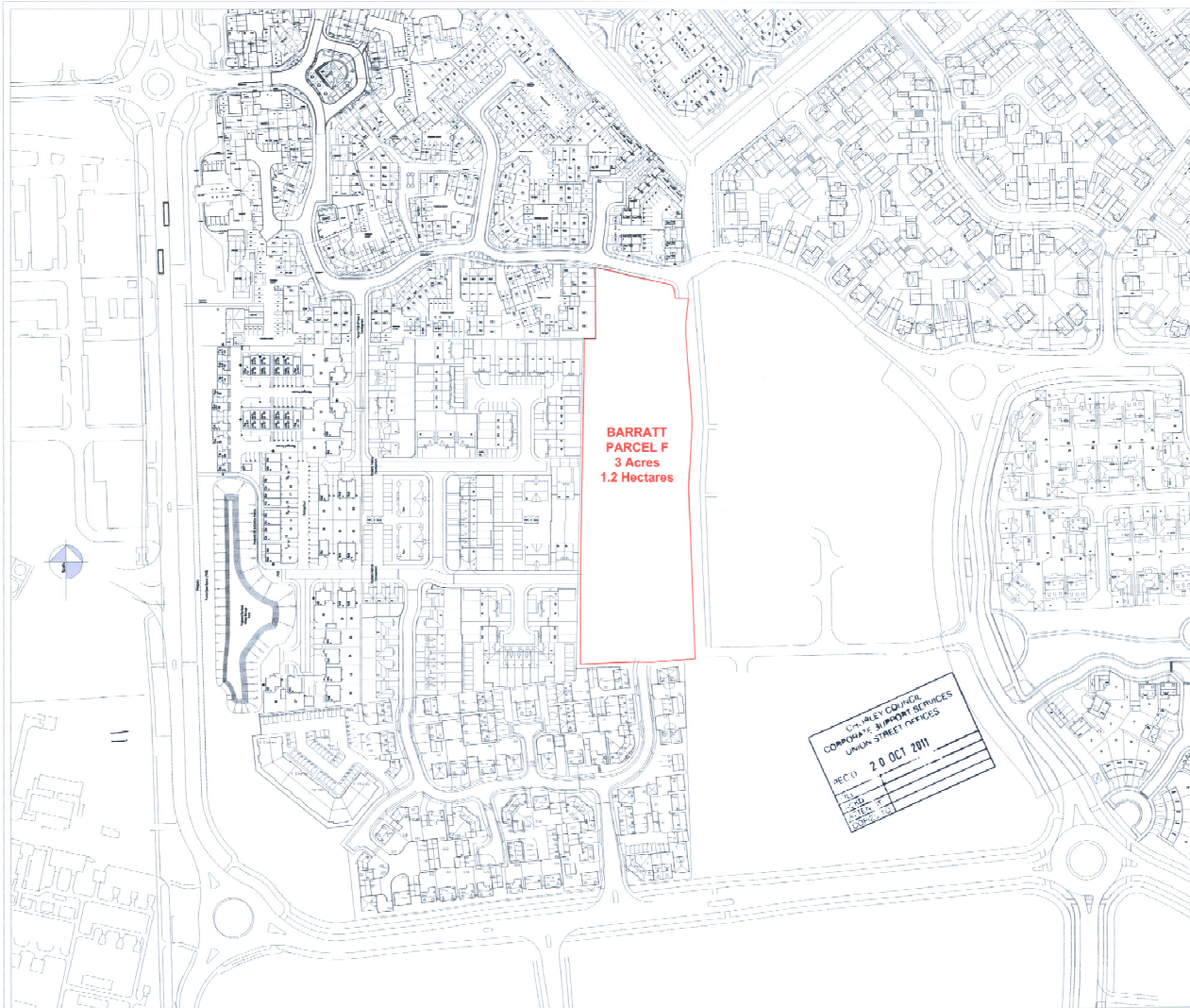


Talbot Mill, Froom Street,  
Chorley

Site Location Plan

Scale 1:2500

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**BARRATT  
PARCEL F**  
3 Acres  
1.2 Hectares

CHICHESTER COUNCIL  
CORPORATE SUPPORT SERVICES  
URBAN STREET OFFICES  
REC'D 29 OCT 2011

**WARNING TO HOUSE PURCHASERS**  
Property Misdescriptions Act 1991

Drawn are warned that this is a working drawing and is not intended to be treated as descriptive material describing in relation to any particular property or development, any of the specified matters prescribed by any Order made under the above Act. The contents of this drawing may be subject to change at any time and alterations and variations may occur during the progress of the works without notice of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. None of the contents of this drawing constitutes a contract, part of any contract, or warranty.

11/934

Rev	Description	Date	Drawn	CHK'd
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**BARRATT  
HOMES  
MANCHESTER**

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(A division of BSW Trading Ltd)  
4 Brindley Road  
City Park  
Manchester  
M16 9HQ  
Tel: 0161 872 0181  
Fax: 0161 853 2328

Job: Buckshaw Village Phase 11/ Parcel F.3

Title: Ordinance Survey Plan

Design By	Date	Drawing Number	Rev
Skull @AJ	04/11	424/ PJ CSD1	
Version	1/250		

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# Buckshaw Village, Chorley.

## Phase 11 (Parcel F.3)

Buyers are warned that this is a working drawing and is not intended to be treated as descriptive material describing, in relation to any particular property or development, any of the specified matters prescribed by any Order made under the above act. The contents of this drawing may be subject to change at any time, and alterations and variations can occur during the progress of the works without revisions of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of any contract, or warranty.



**KEY**

- Proposed dwelling and house type code
- Proposed garages(s) to be built
- Denotes handing of plot
- Refers to dual aspect
- 1800mm screen wall
- 1800mm high screen fence
- Privacy screen fence / timber knee rail
- 1000mm high railing
- 1800mm high wall to 1000mm railing
- 1800mm high timber gate
- Bollard positions to restrict vehicular access
- Proposed rumble strip
- Surface material A
- Surface material B
- Turf / soft landscaping
- Proposed trees shown indicatively
- Other trees shown indicatively

**SCHEDULE OF ACCOMMODATION**

Main Development					
Sev	Severn	1 bed dwelling over drive thro	490	2	980
Was	Washington	2 bed mews house	624	2	1248
Aly	Alysham	1 bed dwelling over garages	696	1	696
Ayl	Aylsbury	3 bed traditional dwelling	796	10	7960
Bar	Barwick	3 bed traditional dwelling	836	2	1672
Far	Farrington	3 bed corner dwelling	1112	4	4448
Hel	Helmsley	3 bed 2.5 storey dwelling	1129	11	12419
Lin	Lincoln	4 bed corner dwelling	1224	1	1224
			<b>33</b>	<b>30647</b>	
Affordable Units					
Ash	Ashford	2 bed traditional dwelling	635	8	5080
Rub	Ruberlite	2 bed traditional dwelling	679	4	2716
Ayl	Aylsbury	3 bed traditional dwelling	796	2	1592
Bar	Barwick	3 bed traditional dwelling	836	4	3344
Ayc	Aycliffe	4 bed traditional dwelling	917	2	1834
			<b>20</b>	<b>14566</b>	
<b>Overall Total</b>				<b>53</b>	<b>45213</b>
Total Site Area in Acres					3.10
Percentage of 2.5 storey Dwellings (%)					21%
Density (Units per Acre)					17
Sqft/ Acre					14,585

C	Development boundary identified, car parking areas rationalised, plots 6 & 7 amended and parking added to the rear, 300% parking added to plot 05, plots 1 - 3 mirrored for sales arena purposes, landscaped buffer strip added to southern boundary, and schedule updated.	29.11.2011	MS
B	Southern road connection omitted. And garage to plot 1 removed.	08.11.2011	MS
A	Various minor amendments made to suite working setting out blocks	26.10.2011	MG

Rev	Description	Date	Drawn	Chk'd
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**BARRATT  
HOMES  
MANCHESTER**

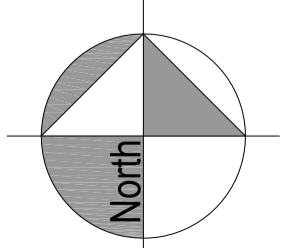
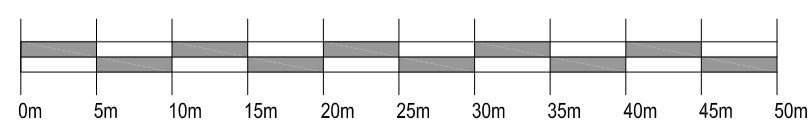
Barratt Homes Manchester  
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Tel: 0161 872 0161  
Fax: 0161 855 2828

Job: Buckshaw Village, Chorley  
Phase 11 (Parcel F.3)

Title: Proposed Planning Layout

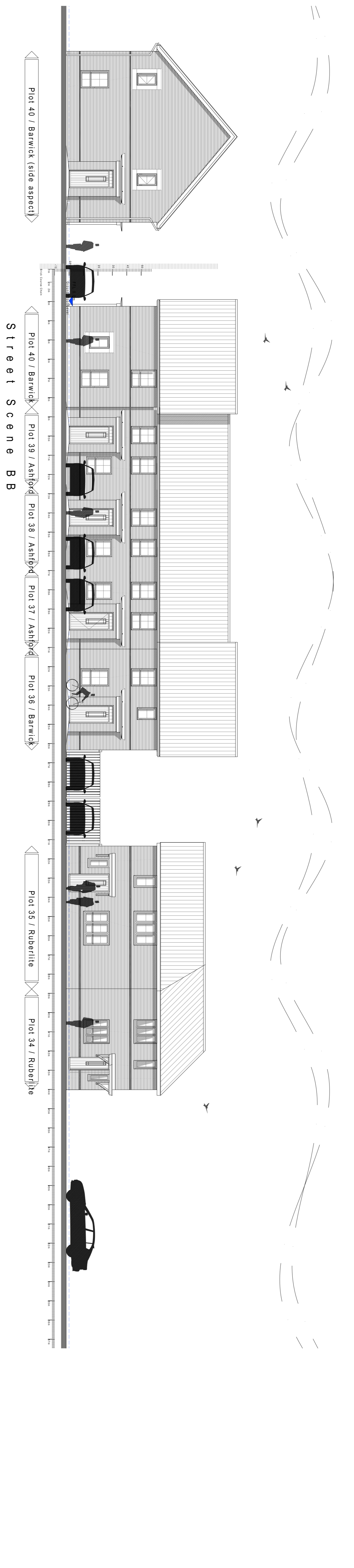
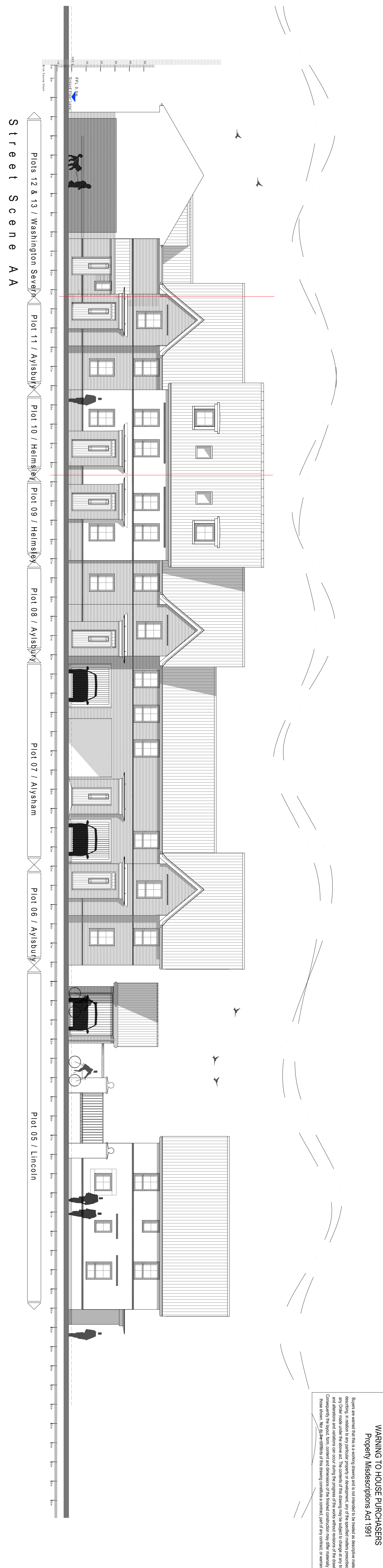
Design By MG / MS	Date Oct 2011	Drawing Number 424/P/PL01	Rev C
Drawn By MG / MS	Scale @ A2 1:500		

### Proposed Planning Layout





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**WARNING TO HOUSE PURCHASERS**  
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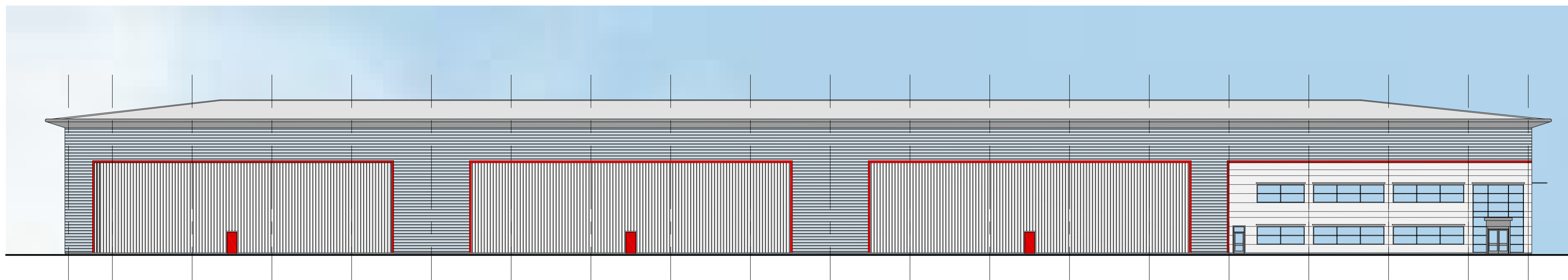
**Job:** Buckshaw Village, Chorley  
Phase 11 (Parcel F.3)

Rev	Description	Date	Drawn	Checked
A	Sheet Dimension As Issued to the site by planning	02.12.2011	MS	MS

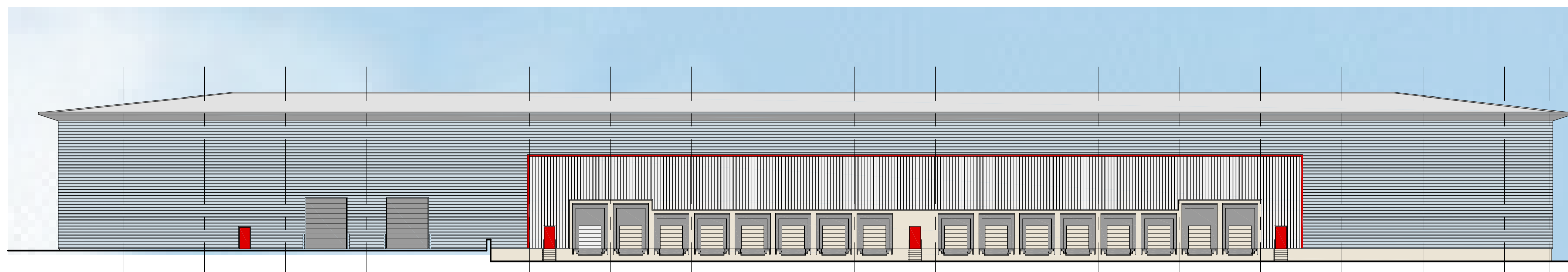
**Title:** Proposed Street Scenes AA, BB, & CC  
Design By: MS Date: Oct 11 Drawing Number: 4241/ P/SS01 A  
Drawn By: MS Scale: 1:100

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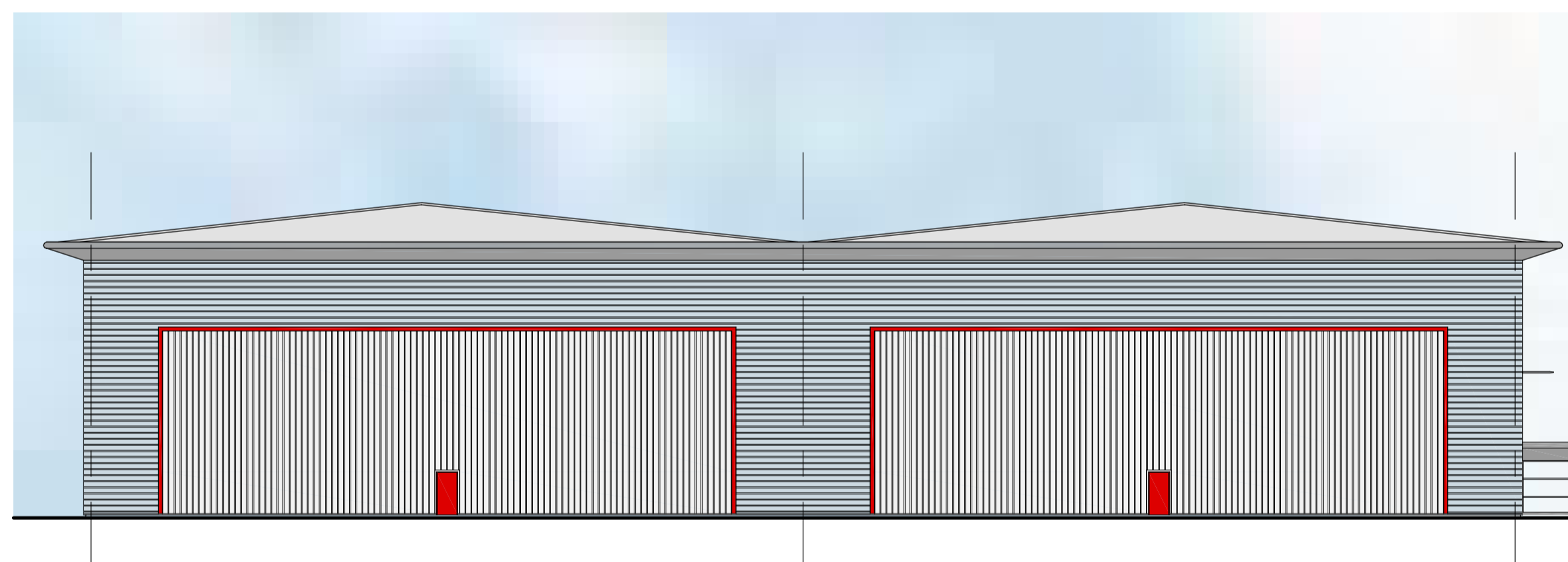




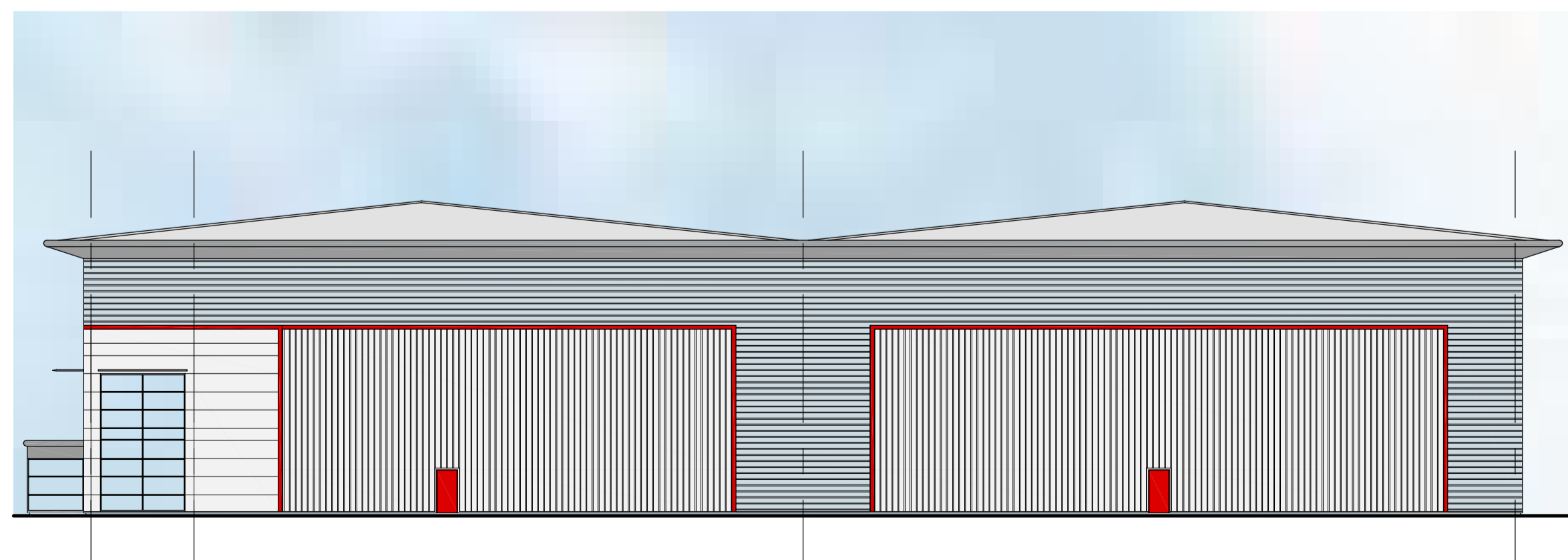
South West Elevation



North East Elevation



North West Elevation



South East Elevation

Schedule of Materials

Distribution Centre

Roof  
 Profiled metal cladding panels in Goosewing Grey (HPS200 Ultra Finish) with Merlin Grey eaves fascia and soffit.

Walls  
 Horizontally spanning profiled metal cladding panels in Duck Egg Blue (HPS200 Ultra Finish) with vertically spanning profiled metal cladding panels in Sirius Silver (HPS200 Ultra Metallic Finish) and Red feature band.

Personnel Doors  
 Metal faced flush doors painted Red.

Loading Doors  
 Insulated metal doors with PPC outer finish in Silver / Merlin Grey.

Offices

Roof  
 Profiled metal cladding panels in Goosewing Grey (HPS200 Ultra Finish) with Merlin Grey eaves fascia and soffit.

Walls  
 Horizontally spanning composite micro-rib metal panels in Sirius Silver (HPS200 Ultra Metallic Finish).

Windows/Doors  
 PPC frames in graphite grey with grey tinted glazing and grey lookalike panel spandrels where required.

Entrance Lobby and Canopy  
 Profiled metal cladding panel roof in Goosewing Grey (HPS200 Ultra Finish) with Merlin Grey eaves soffit and fascia and Merlin Grey composite micro-rib metal panels in Merlin Grey (HPS200 Ultra Finish) above glazing.

no.	date	revision	by
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client



project

Revolution Park  
 Chorley

Proposed Elevations  
 Plot 5

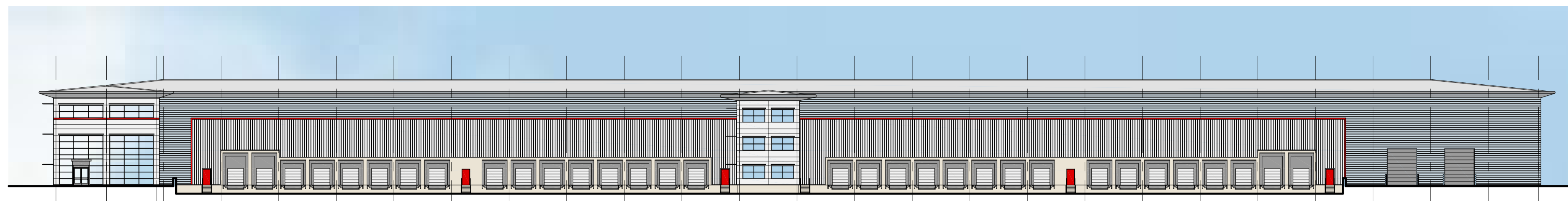
scale 1:250 drawn KT

checked date 12/08/11

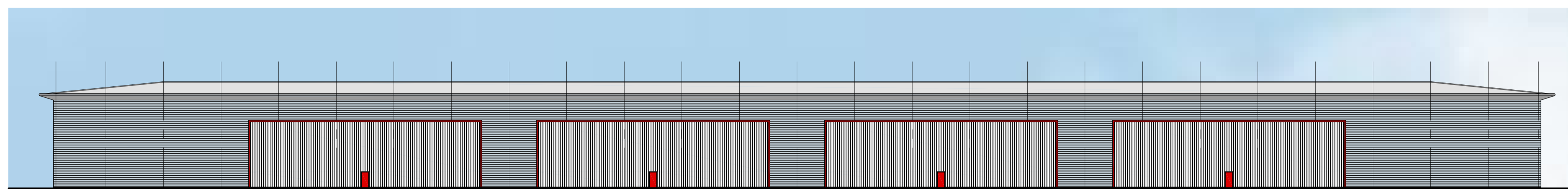
no

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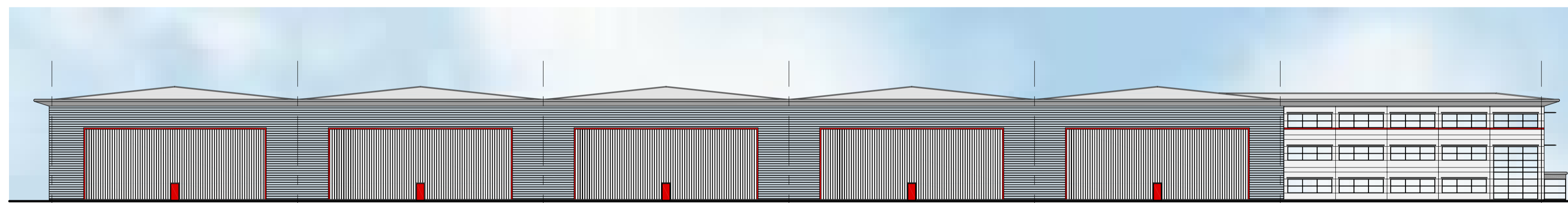
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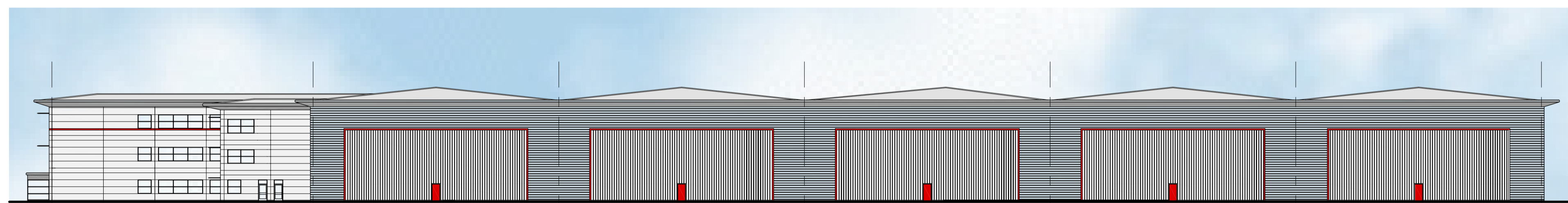
South East Elevation



North West Elevation



South West Elevation



North East Elevation

**Schedule of Materials**  
 Distribution Centre

**Roof**  
 Profiled metal cladding panels in Goosewing Grey (HPS200 Ultra Finish) with Merlin Grey eaves fascia and soffit.

**Walls**  
 Horizontally spanning profiled metal cladding panels in Duck Egg Blue (HPS200 Ultra Finish) with vertically spanning profiled metal cladding panels in Sirius Silver (HPS200 Ultra Metallic Finish) and Red feature band.

**Personnel Doors**  
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 Profiled metal cladding panel roof in Goosewing Grey (HPS200 Ultra Finish) with Merlin Grey eaves soffit and fascia and Merlin Grey composite micro-rib metal panels in Merlin Grey (HPS200 Ultra Finish) above glazing.

no.	date	revision	by
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client



project

Revolution Park  
 Chorley

drawing

Proposed Elevations  
 Plots 7/9

scale 1:400 drawn spp

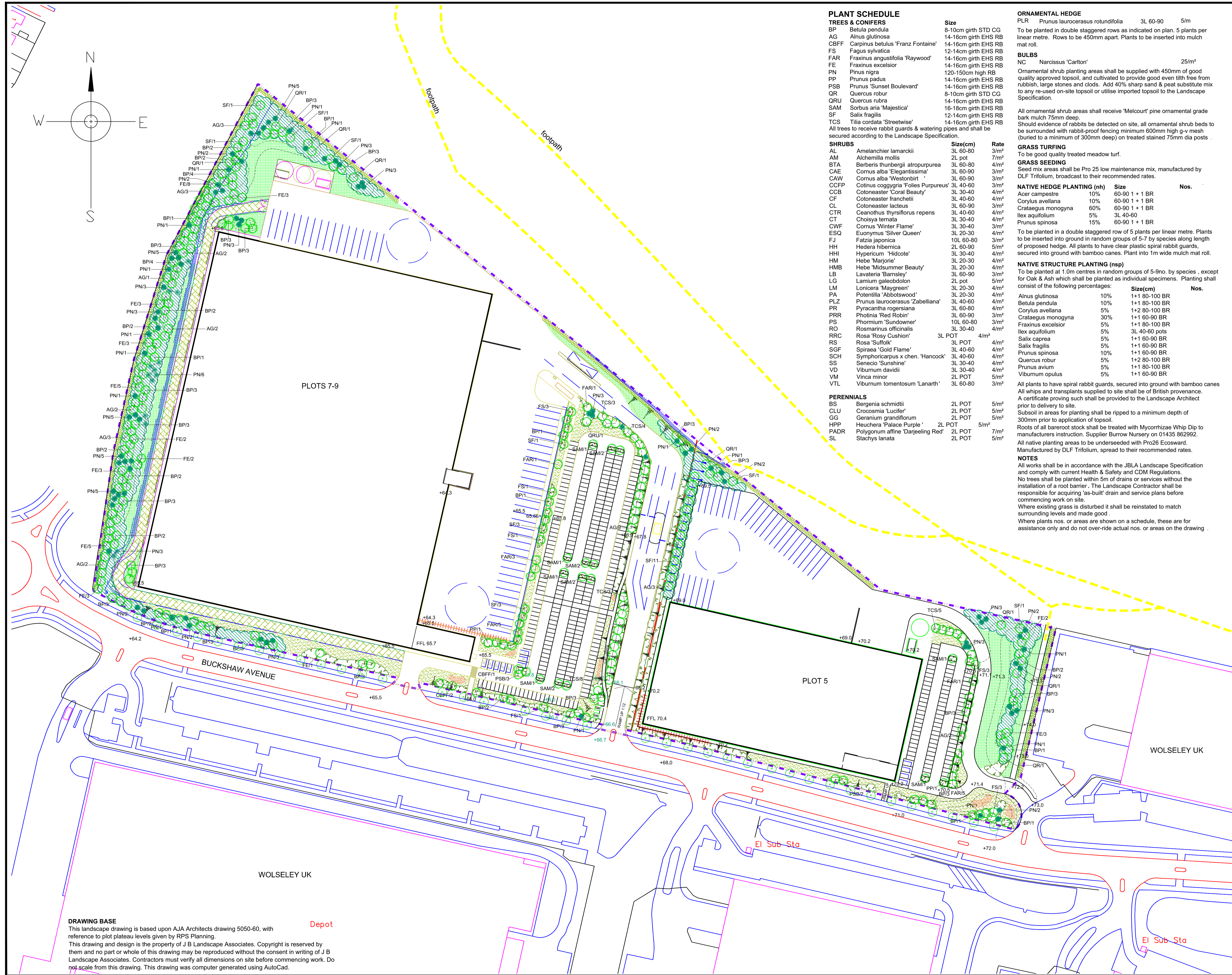
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**PLANT SCHEDULE**

**TREES & CONIFERS**

Code	Species	Size
BP	Betula pendula	8-10cm girth STD CG
AG	Alnus glutinosa	14-16cm girth EHS RB
CBFF	Carpinus betulus 'Franz Fontaine'	14-16cm girth EHS RB
FS	Fagus sylvatica	12-14cm girth EHS RB
FAR	Fraxinus angustifolia 'Raywood'	14-16cm girth EHS RB
FE	Fraxinus excelsior	14-16cm girth EHS RB
PN	Pinus nigra	120-150cm high RB
PP	Prunus padus	14-16cm girth EHS RB
PSB	Prunus 'Sunset Boulevard'	14-16cm girth EHS RB
QR	Quercus robur	8-10cm girth STD CG
QRU	Quercus rubra	14-16cm girth EHS RB
SAM	Sorbus aria 'Majestica'	16-18cm girth EHS RB
SF	Salix fragilis	12-14cm girth EHS RB
TCS	Tilia cordata 'Streetwise'	14-16cm girth EHS RB

**SHRUBS**

Code	Species	Size(cm)	Rate
AL	Amelanchier lamarckii	3L 60-80	3/m <sup>2</sup>
AM	Alchemilla mollis	2L pot	7/m <sup>2</sup>
BTA	Berberis thunbergii atropurpurea	3L 60-80	4/m <sup>2</sup>
CAE	Cornus alba 'Elegantissima'	3L 60-90	3/m <sup>2</sup>
CAW	Cornus alba 'Westonbirt'	3L 60-90	3/m <sup>2</sup>
CCFP	Cotinus coggygria 'Folies Purpureus'	3L 40-60	3/m <sup>2</sup>
CCB	Cotoneaster 'Coral Beauty'	3L 30-40	4/m <sup>2</sup>
CF	Cotoneaster franchetii	3L 40-60	4/m <sup>2</sup>
CL	Cotoneaster lacteus	3L 60-90	3/m <sup>2</sup>
CTR	Ceanothus thyrsiflorus repens	3L 40-60	4/m <sup>2</sup>
CT	Choisya ternata	3L 30-40	4/m <sup>2</sup>
CWF	Cornus 'Winter Flame'	3L 30-40	3/m <sup>2</sup>
ESQ	Euroymus 'Silver Queen'	3L 20-30	4/m <sup>2</sup>
FJ	Fatzia japonica	10L 60-80	3/m <sup>2</sup>
HH	Hedera hibernica	2L 60-90	5/m <sup>2</sup>
HHI	Hypericum 'Hidcote'	3L 30-40	4/m <sup>2</sup>
HM	Hebe 'Marjorie'	3L 20-30	4/m <sup>2</sup>
HMB	Hebe 'Midsummer Beauty'	3L 20-30	4/m <sup>2</sup>
LB	Lavatera 'Barnsley'	3L 60-90	3/m <sup>2</sup>
LG	Lamium galeobdolon	2L pot	5/m <sup>2</sup>
LM	Lonicera 'Maygreen'	3L 20-30	4/m <sup>2</sup>
PA	Potentilla 'Abbotswood'	3L 20-30	4/m <sup>2</sup>
PLZ	Prunus laurocerasus 'Zabelliana'	3L 40-60	4/m <sup>2</sup>
PR	Pyracantha rogersiana	3L 60-80	4/m <sup>2</sup>
PRR	Photinia 'Red Robin'	3L 60-90	3/m <sup>2</sup>
PS	Phormium 'Sundowner'	10L 60-80	3/m <sup>2</sup>
RO	Rosmarinus officinalis	3L 30-40	4/m <sup>2</sup>
RRC	Rosa 'Rosy Cushion'	3L POT	4/m <sup>2</sup>
RS	Rosa 'Suffolk'	3L POT	4/m <sup>2</sup>
SGF	Spiraea 'Gold Flame'	3L 40-60	4/m <sup>2</sup>
SCH	Symphoricarpos x chen. 'Hancock'	3L 40-60	4/m <sup>2</sup>
SS	Senecio 'Sunshine'	3L 30-40	4/m <sup>2</sup>
VD	Viburnum davidii	3L 30-40	4/m <sup>2</sup>
VM	Vinca minor	2L POT	5/m <sup>2</sup>
VTL	Viburnum tomentosum 'Lanarth'	3L 60-80	3/m <sup>2</sup>

**PERENNIALS**

Code	Species	Size	Rate
BS	Bergenia schmidtii	2L POT	5/m <sup>2</sup>
CLU	Crococsmia 'Lucifer'	2L POT	5/m <sup>2</sup>
GG	Geranium grandiflorum	2L POT	5/m <sup>2</sup>
HPP	Heuchera 'Palace Purple'	2L POT	5/m <sup>2</sup>
PADR	Polygonum affine 'Darjeeling Red'	2L POT	7/m <sup>2</sup>
SL	Stachys lanata	2L POT	5/m <sup>2</sup>

**ORNAMENTAL HEDGE**

PLR Prunus laurocerasus rotundifolia 3L 60-90 5/m  
 To be planted in double staggered rows as indicated on plan. 5 plants per linear metre. Rows to be 450mm apart. Plants to be inserted into mulch mat roll.  
**BULBS**  
 NC Narcissus 'Carlton' 25/m<sup>2</sup>  
 Ornamental shrub planting areas shall be supplied with 450mm of good quality approved topsoil, and cultivated to provide good even tilth free from rubbish, large stones and clods. Add 40% sharp sand & peat substitute mix to any re-used on-site topsoil or utilise imported topsoil to the Landscape Specification.

All ornamental shrub areas shall receive 'Melcourt' pine ornamental grade bark mulch 75mm deep.  
 Should evidence of rabbits be detected on site, all ornamental shrub beds to be surrounded with rabbit-proof fencing minimum 600mm high g-v mesh (buried to a minimum of 300mm deep) on treated stained 75mm dia posts.

**GRASS TURFING**

To be good quality treated meadow turf.  
**GRASS SEEDING**  
 Seed mix areas shall be Pro 25 low maintenance mix, manufactured by DLF Trifolium, broadcast to their recommended rates.

**NATIVE HEDGE PLANTING (nh)**

Species	Size	Nos.
Acer campestre	10% 60-90 1 + 1 BR	
Corylus avellana	10% 60-90 1 + 1 BR	
Crataegus monogyna	60% 60-90 1 + 1 BR	
Ilex aquifolium	5% 3L 40-60	
Prunus spinosa	15% 60-90 1 + 1 BR	

To be planted in a double staggered row of 5 plants per linear metre. Plants to be inserted into ground in random groups of 5-7 by species along length of proposed hedge. All plants to have clear plastic spiral rabbit guards, secured into ground with bamboo canes. Plant into 1m wide mulch mat roll.

**NATIVE STRUCTURE PLANTING (nsp)**

To be planted at 1.0m centres in random groups of 5-9no. by species, except for Oak & Ash which shall be planted as individual specimens. Planting shall consist of the following percentages:

Species	Percentage	Size(cm)	Nos.
Alnus glutinosa	10%	1+1 80-100 BR	
Betula pendula	10%	1+1 80-100 BR	
Corylus avellana	5%	1+2 80-100 BR	
Crataegus monogyna	30%	1+1 60-90 BR	
Fraxinus excelsior	5%	1+1 80-100 BR	
Ilex aquifolium	5%	3L 40-60 pots	
Salix caprea	5%	1+1 60-90 BR	
Salix fragilis	5%	1+1 60-90 BR	
Prunus spinosa	10%	1+1 60-90 BR	
Quercus robur	5%	1+2 80-100 BR	
Prunus avium	5%	1+1 80-100 BR	
Viburnum opulus	5%	1+1 60-90 BR	

All plants to have spiral rabbit guards, secured into ground with bamboo canes. All whips and transplants supplied to site shall be of British provenance. A certificate proving such shall be provided to the Landscape Architect prior to delivery to site.  
 Subsoil in areas for planting shall be ripped to a minimum depth of 300mm prior to application of topsoil.  
 Roots of all bareroot stock shall be treated with Mycorrhizae Whip Dip to manufacturer's instruction. Supplier Burrow Nursery on 01435 862992.  
 All native planting areas to be underseeded with Pro26 Ecosward. Manufactured by DLF Trifolium, spread to their recommended rates.

**NOTES**

All works shall be in accordance with the JBLA Landscape Specification and comply with current Health & Safety and CDM Regulations.  
 No trees shall be planted within 5m of drains or services without the installation of a root barrier. The Landscape Contractor shall be responsible for acquiring 'as-built' drain and service plans before commencing work on site.  
 Where existing grass is disturbed it shall be reinstated to match surrounding levels and made good.  
 Where plants nos. or areas are shown on a schedule, these are for assistance only and do not over-ride actual nos. or areas on the drawing.

**KEY @ 1:1000**

- Existing heavy standard trees (interpolated position)
- Proposed trees & conifers
- Proposed native woodland planting
- Proposed shrubs
- Proposed native hedge
- Proposed ornamental hedge
- Meadow areas of species compliant with the Joint Lancs Structure Plan Appendix 12
- Reinforced turf firepath
- Lawn areas
- Bulb planting
- Proposed embankments
- Indicative levels
- Proposed ground-modelling (contours representative at 1.0m intervals)
- Ditches - (retained or diverted)
- Land drain
- Retaining wall
- Casual footpath
- Site boundary

**FOR PLANNING ONLY**

- REV G Off-site landscape removed JFB 20-12-11
- F Plot 7 Big change & extn to w bndry ajh 12-12-12
- I/scape. Trees added. Casual Footpaths shown
- E Evergreen Pines added to plant schedule JFB 7-11-11
- D Plot 7 Big change & extn to w bndry I/scape JFB 7-11-11
- C Trees added to sth-west corner of Plot 7/9 JFB 06-09-11
- B Levels & bndry amended to fit topo survey JFB18-08-11
- A Planting increased on W & NW boundaries JFB 2-08-11

CLIENT

JB Landscape Associates  
 25 Victoria Street, Warwick CV34 4JT 01926 498350

PROJECT  
**REVOLUTION PARK CHORLEY**

DRAWING  
**LANDSCAPE PROPOSALS**

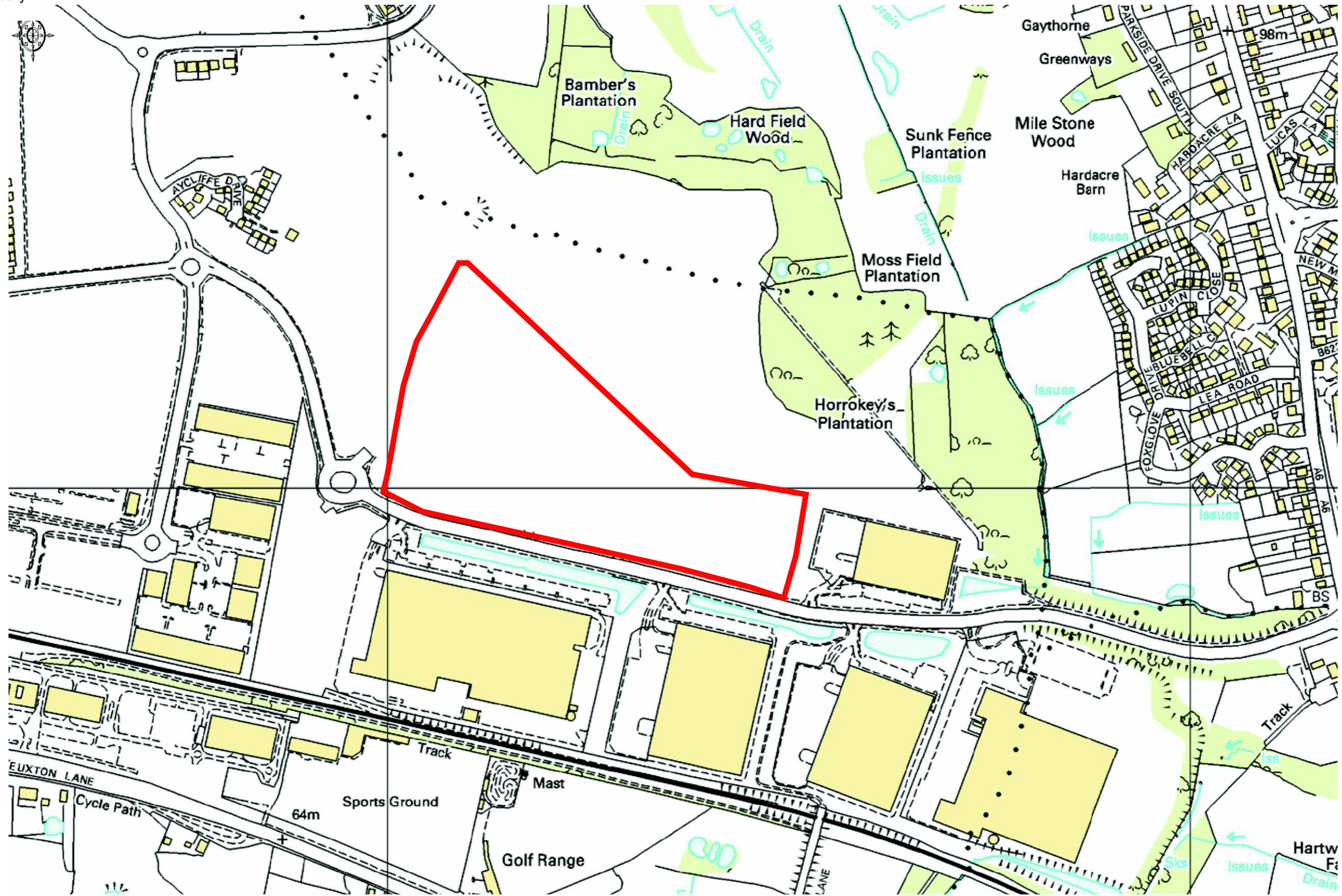
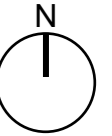
DRAWN JB	CHECKED	APPROVED JB
TRACED	SCALE 1:1000@A1	DATE 27-07-10
DRAWING No	2018-PL001	REV G

**DRAWING BASE**  
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Key  
— Site boundary



Client: Evander Properties Ltd  
Project: Proposed Distribution Centre Development, Plots 5, 7 and 9 Revolution Park, Buckshaw Village  
Title: Site Location Plan  
Reference: EVAM2000  
Date: 12 September 2011  
Scale: 1:5000

**TURLEYASSOCIATES**  
1 New York Street  
Manchester  
M1 4HD

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notes  
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Schedule of Accommodation  
 All areas are square feet gross internal

Plots 7 & 9		
Distribution Centre	351,348 sq.ft.	32,641 sq.m.
Three Storey Offices	15,000 sq.ft.	1,394 sq.m.
Distribution Offices	3,750 sq.ft.	348 sq.m.
<b>Total</b>	<b>370,099 sq.ft.</b>	<b>34,383 sq.m.</b>
Parking	287 no. car spaces (1 spaces per 120 sq.m.)	
Site Area	19.00 acres	7.69 hectares
Plot 5		
Distribution Centre	107,995 sq.ft.	10,033 sq.m.
Two Storey Offices	6,000 sq.ft.	557.5 sq.m.
<b>Total</b>	<b>113,995 sq.ft.</b>	<b>10,590.5 sq.m.</b>
Parking	88 no. car spaces (1 space per 120 sq.m.)	
Site Area	7.05 acres	2.85 hectares
<b>Total Development</b>	<b>490,620 sq.ft.</b>	<b>45,580 sq.m.</b>
<b>Total Site Area</b>	<b>26.05 acres</b>	<b>10.54 hectares</b>

no.	date	revision	by



aja architects ip  
 1170 Elliott Court  
 Herald Avenue  
 Coventry Business Park  
 COVENTRY CV5 6UB  
 T: 024 7625 3200  
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 E: aja@aja-architects.com  
 W: www.aja-architects.com

aja architects ip is a limited liability partnership registered in England No. OC326721  
 client



project

Revolution Park  
 Chorley

drawing

Site Layout Plan

scale 1:1250 drawn spp

checked date 09/12/11

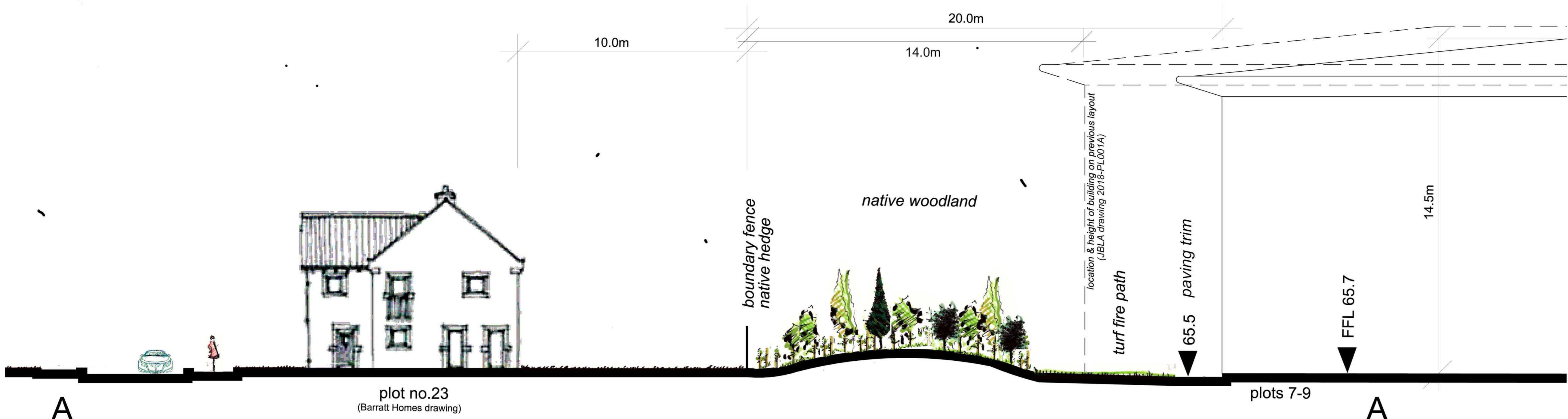
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EI St 5050 - 60

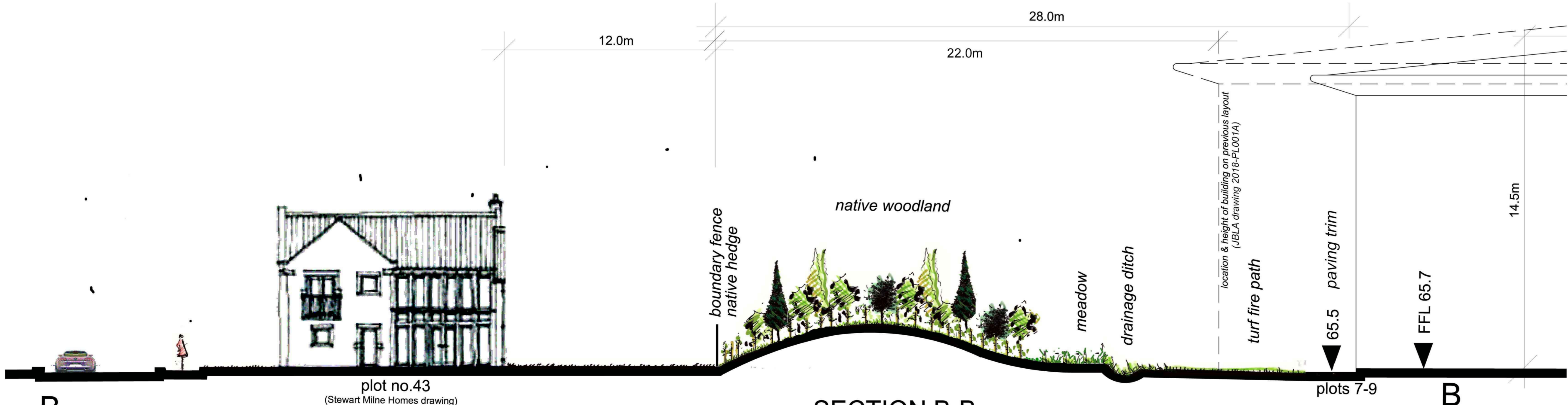


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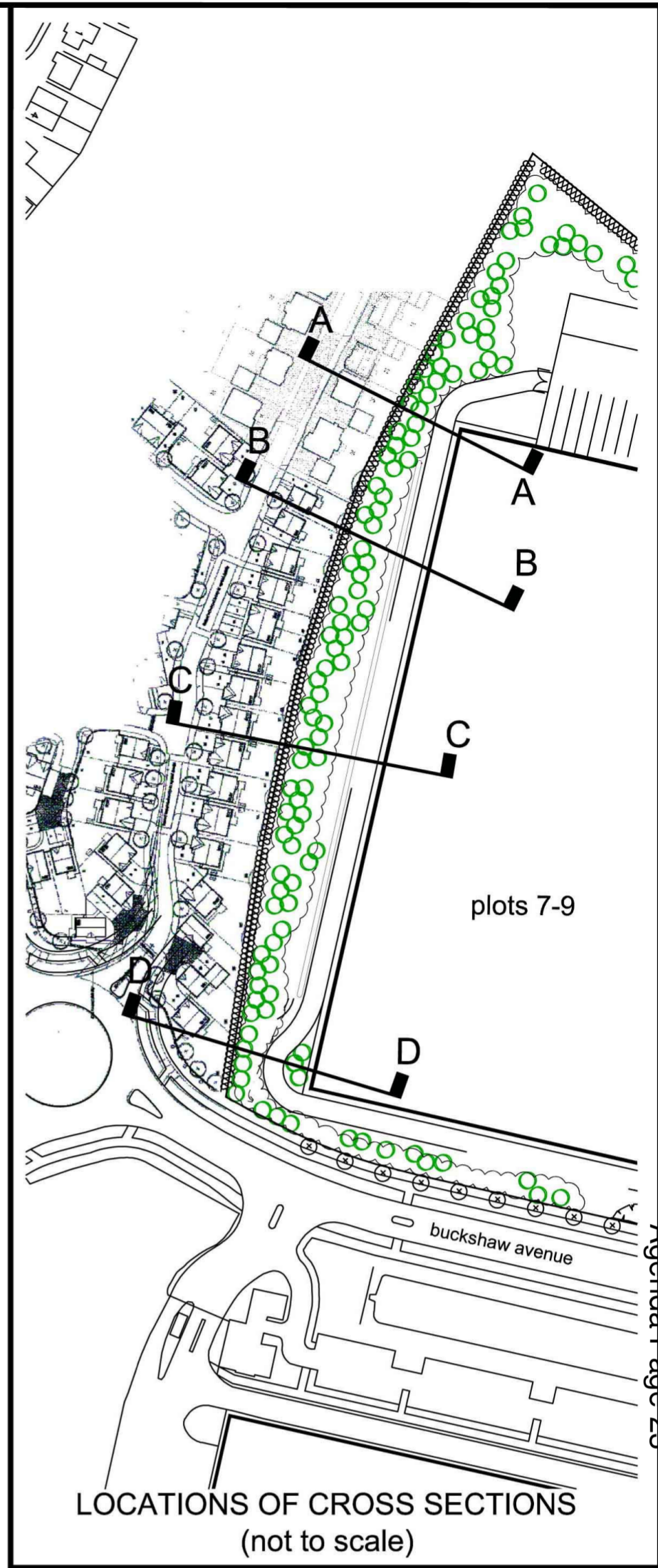




SECTION A-A  
scale 1:100



SECTION B-B  
scale 1:100



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**SUITABLE FOR PLANNING PURPOSES ONLY**

B: Additional cross section included	ajh	12.12.11
Building moved away from boundary		
Landscape adjusted. Dimensions added		
A: Measurements from boundary to building added	ajh	23.11.11

CLIENT

**JB Landscape Associates**  
Wharf Centre Studio, Warwick, CV34 5LB 0780 136 5965

PROJECT  
REVOLUTION PARK  
CHORLEY

DRAWING  
CROSS SECTIONS SHOWING  
PROPOSED PLANTINGS AT YEAR 1  
(Based on: JBLA drawing 2016-PL001 RevF  
Stewart Milne Homes drawing 1183SMH/BPL/PL01 RevF  
Barratt Homes drawing 410/PL01 RevC)

SHEET 1 OF 1

DRAWN	ajh	CHECKED	JB	APPROVED	JB
TRACED		SCALE	as shown@A1	DATE	22 NOVEMBER 2011

DRAWING No  
**2018 - DL001(1)**

NOTE: House styles are indicative only and not true representations

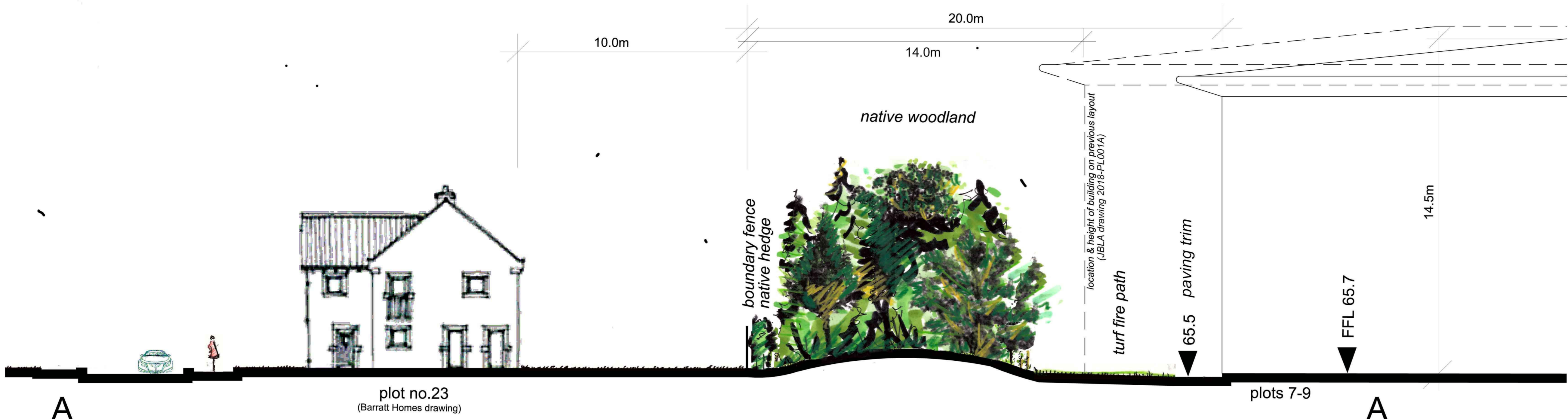
Agenda Page 23

Agenda Page 23

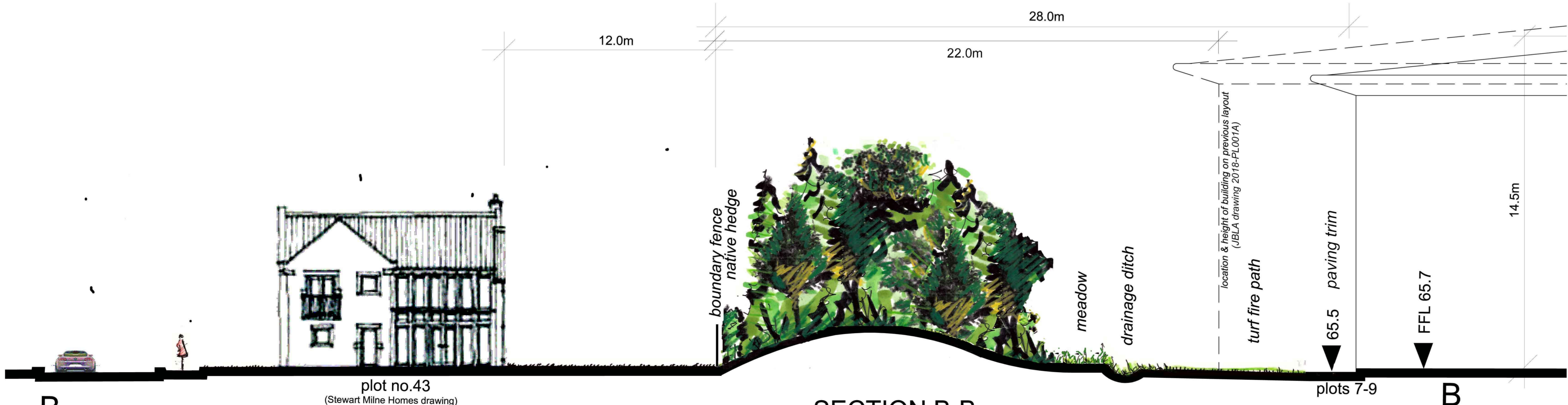


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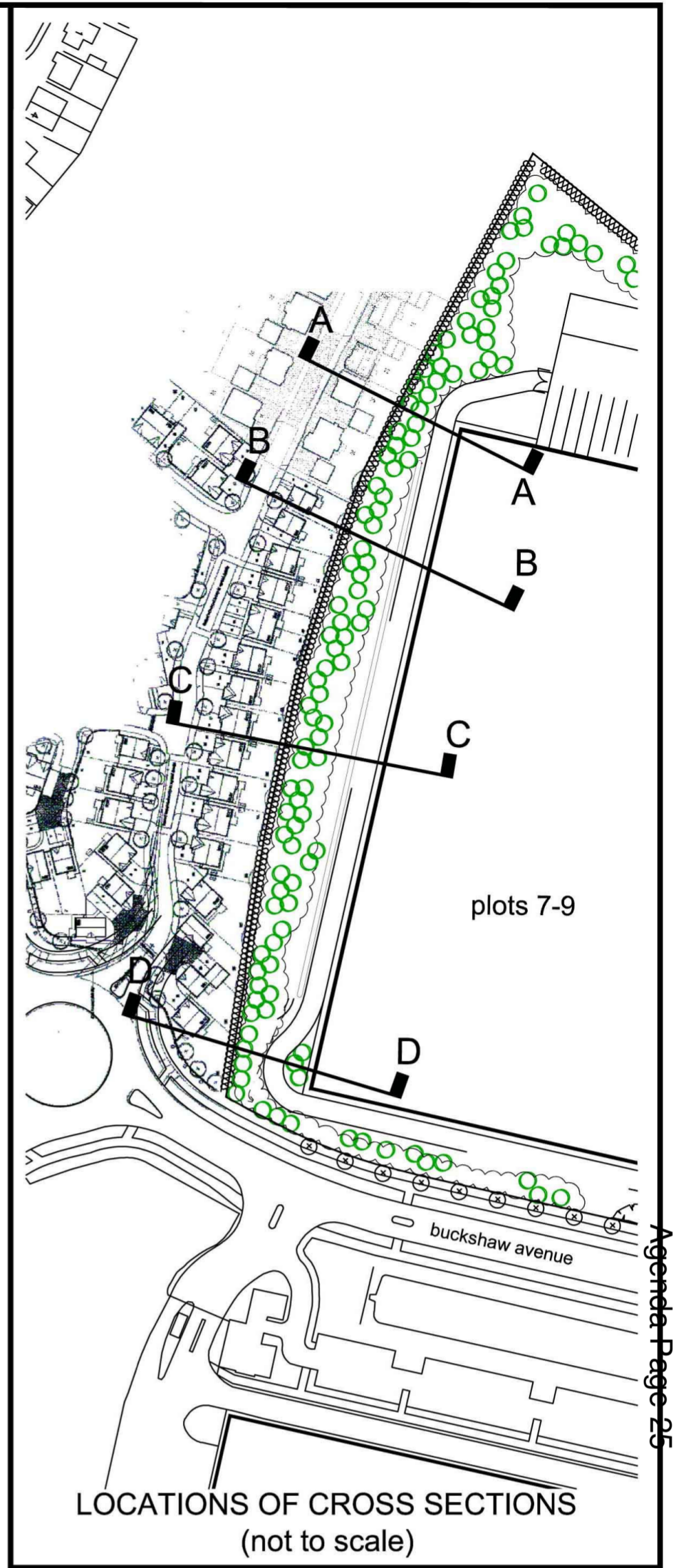




SECTION A-A  
scale 1:100



SECTION B-B  
scale 1:100



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**SUITABLE FOR PLANNING PURPOSES ONLY**

A: Additional cross section included ajh 12.12.11  
Building moved away from boundary  
Landscape adjusted. Dimensions added



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Wharf Centre Studio, Warwick, CV34 5LB 0780 136 5965

PROJECT  
REVOLUTION PARK  
CHORLEY

DRAWING  
CROSS SECTIONS SHOWING  
PROPOSED PLANTINGS AT YEAR 15  
(Based on: JBLA drawing 2016-PL001 RevF  
Stewart Milne Homes drawing 1183SMH/BPL/PL01 RevF  
Barratt Homes drawing 410/PL01 RevC)

SHEET 1 OF 2

DRAWN	ajh	CHECKED	JB	APPROVED	JB
TRACED		SCALE	as shown@A1	DATE	22 NOVEMBER 2011

DRAWING No  
**2018 - DL003(1)**

NOTE: House styles are indicative only and not true representations

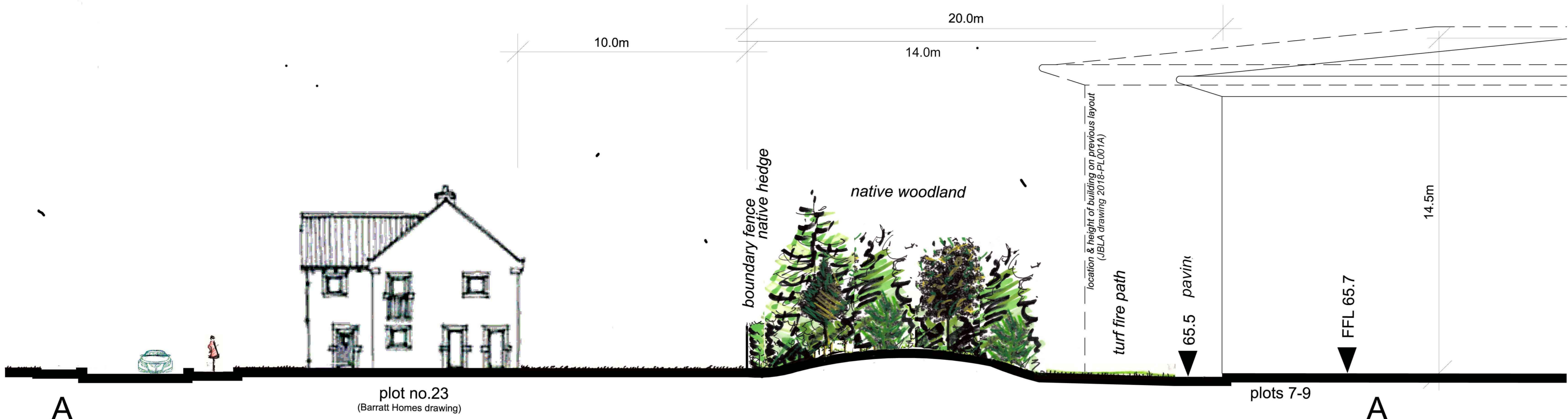
Agenda Page 25

Agenda Page 25

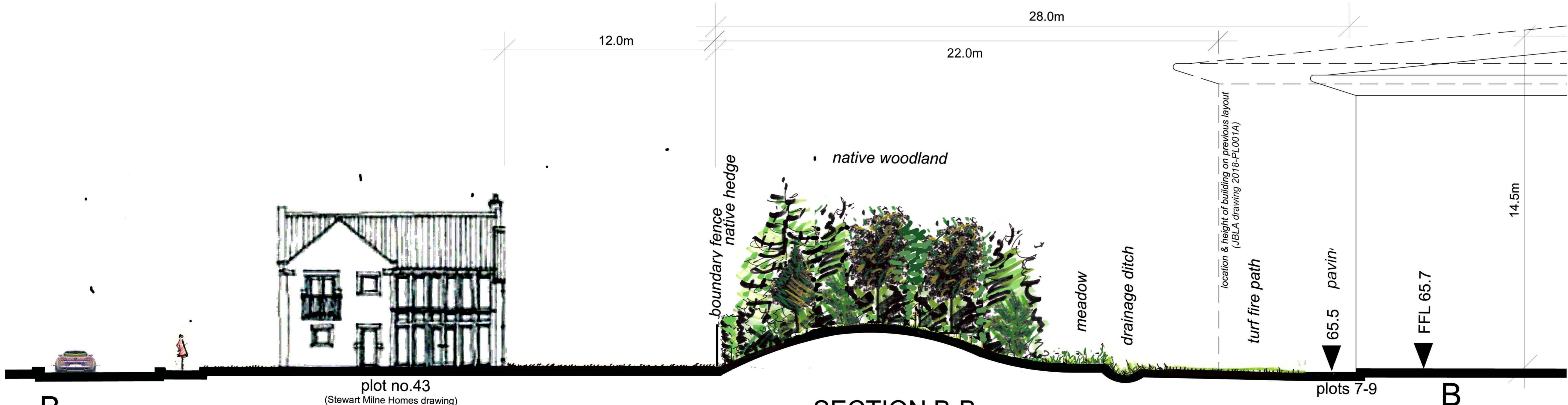


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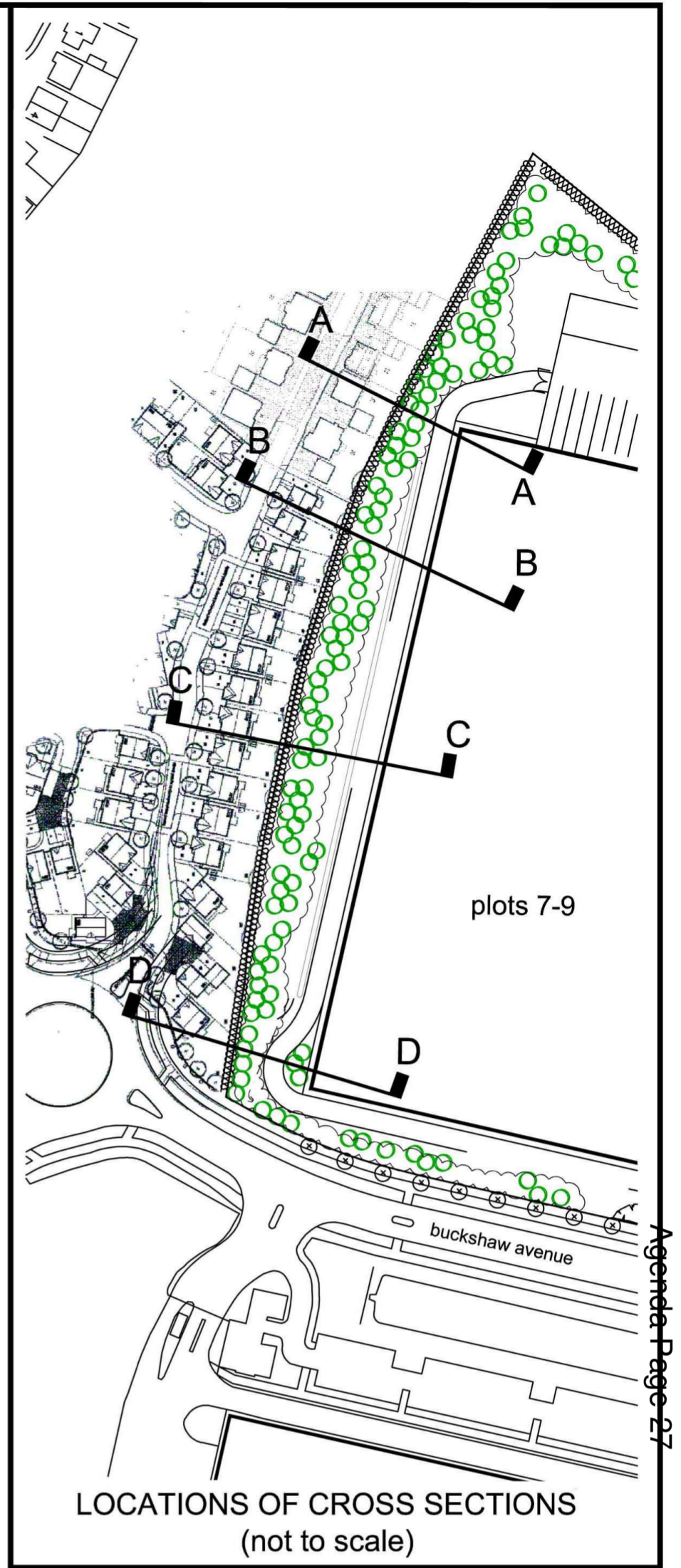




SECTION A-A  
scale 1:100



SECTION B-B  
scale 1:100



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**SUITABLE FOR PLANNING PURPOSES ONLY**

B: Additional cross section included	ajh	12.12.11
Building moved away from boundary		
Landscape adjusted. Dimensions added		
A: Measurements from boundary to building added	ajh	23.11.11

CLIENT

**JB Landscape Associates**  
Wharf Centre Studio, Warwick, CV34 5LB 0780 136 5965

PROJECT  
REVOLUTION PARK  
CHORLEY

DRAWING  
CROSS SECTIONS SHOWING  
PROPOSED PLANTINGS AT YEAR 7  
(Based on: JBLA drawing 2018-PL001 RevF  
Stewart Milne Homes drawing 1183SMH/BPL/PL01 RevF  
Barratt Homes drawing 410/PL01 RevC)

SHEET 1 OF 2

DRAWN	ajh	CHECKED	JB	APPROVED	JB
TRACED		SCALE	as shown@A1	DATE	22 NOVEMBER 2011

DRAWING No  
**2018 - DL002(1)**

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Agenda Page 27

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 This drawing to be read in conjunction with all relevant Architect's drawings, specifications and/or bills of quantities as issued with other Consultants' information. If in doubt please ask.  
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Rev	Date	Revision
B	16.11.	Site Blue edge revised.
A	09.11.	Amended as planning comments.

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[www.jympartnership.co.uk](http://www.jympartnership.co.uk)

project:  
**Laundry Site.  
 Chorley.**

client:  
**Elmwood Construction LLP.**

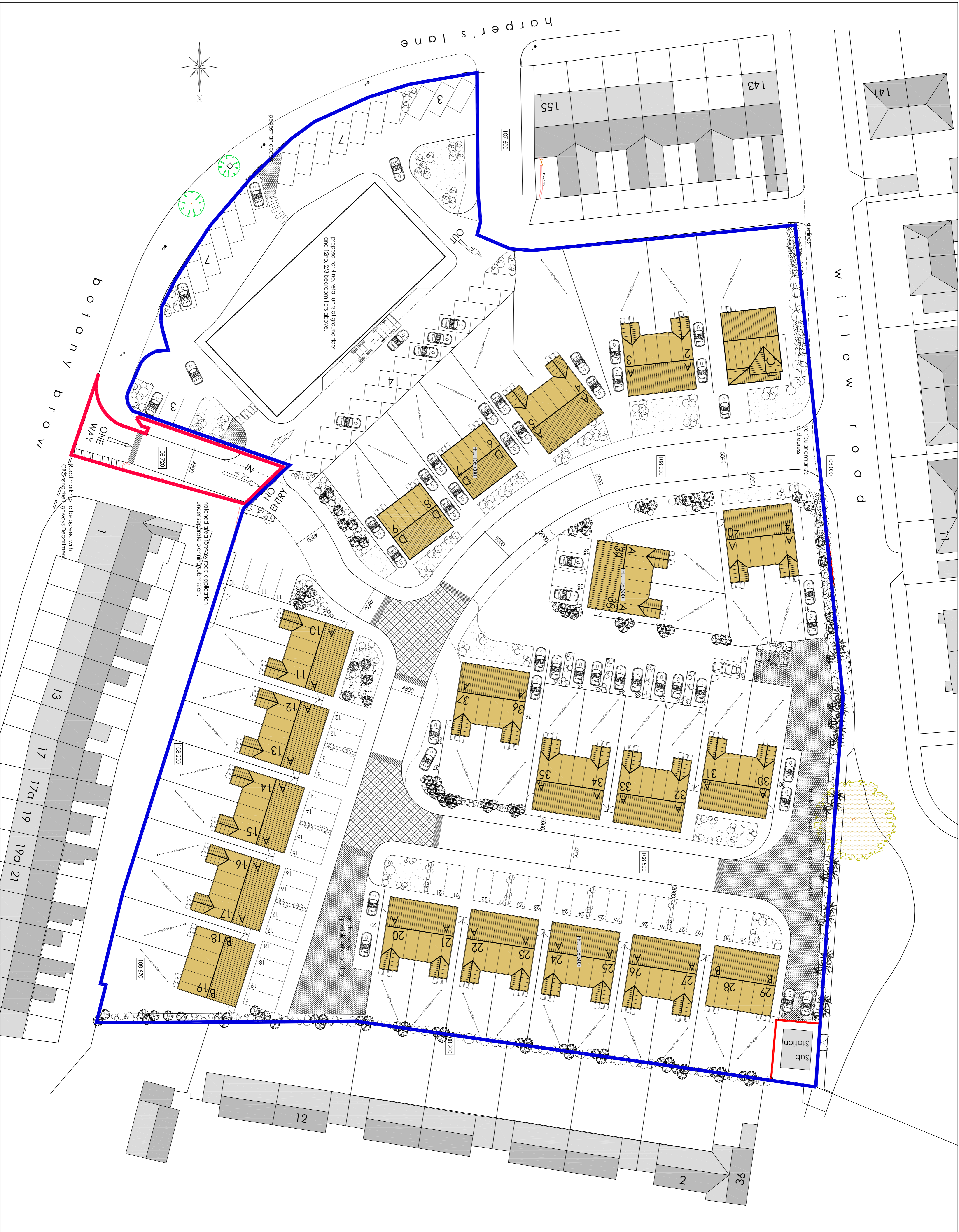
drawing title:  
**Site Plan.**

scale: 1:250 at A1	drawn: CH.	checked: CM.
date: September 2011.	project no. <b>0913</b>	drg. no. <b>003</b>
		rev. <b>B</b>



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[108 000] existing level.  
 108 000 proposed level.

F	20.12.11	Plan amended as CBC. Comments received 19th. December 2011.
E	14.12.11	Plan amended as CBC. meeting of the 12th. December 2011.
D	12.12.11	Plan amended as CBC. Comments of the 6th. December 2011.
C	24.11.11	Plan amended as CBC. Comments of the 17th. November 2011.
B	16.11.11	Site blue edge revised.
A	09.11.11	Amended as planning comments.
Rev	Date	Revision

**JYM**  
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project:  
 Launcy Site.  
 Chorley.

client:  
 Elmwood Construction LLP.

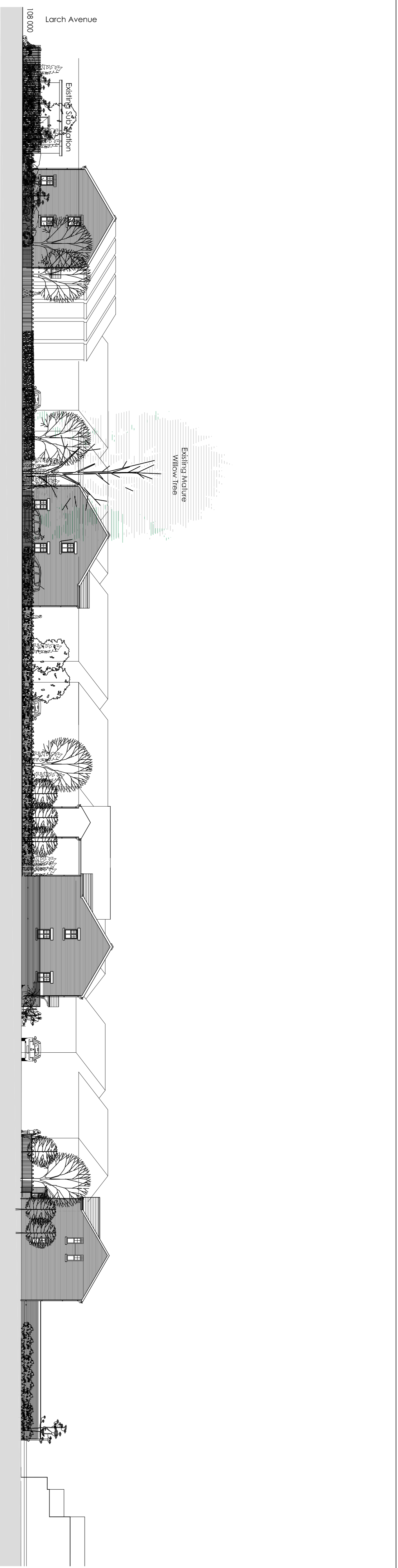
drawing title:  
 Site Plan.

scale:  
 1:250 of A1  
 drawn:  
 MS/CH  
 checked:  
 CM.  
 date:  
 September 2011.  
 project no. / dfg. no.  
**0913 / 003**  
 rev.  
**F**

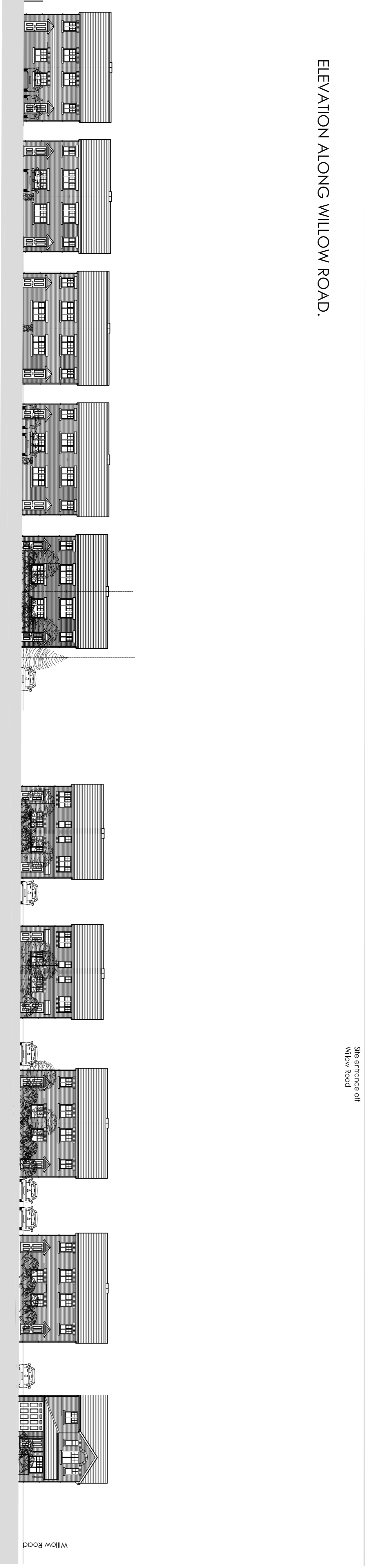


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ELEVATION ALONG WILLOW ROAD.



ELEVATION LOOKING TOWARD HOUSES 19 TO 1.

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This drawing to be read in conjunction with all relevant drawings and specifications. It is the responsibility of the client to ensure that all relevant information is issued with other Consultant's information, if it should show ok.

**DO NOT SCALE FROM THIS DRAWING.**

Rev	Date	Revision
C	21.12.11	Amended as planning comments.
B	14.12.11	Amended as planning comments.
A	09.11	Amended as planning comments.

**JYM** partnership

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[www.jympartnership.co.uk](http://www.jympartnership.co.uk)

project:  
 Proposed Residential Development,  
 Laundry Site,  
 Cholley

client:  
 Elmwood Construction LLP

drawing title:  
 Proposed House elevations.

scale:	1:200 at A1	
drawn:	JLC/CH	checked: CM
date:	August 2011	
project no.	dra. no.	rev.
<b>0913</b>	<b>004</b>	<b>C</b>

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[108 000] existing level.  
 [108 000] proposed level.

Rev	Date	Revision
F	20.12.11	Plan amended as CBC. Comments received 19th. December 2011.
E	14.12.11	Plan amended as CBC. meeting of the 12th. December 2011.
D	12.12.11	Plan amended as CBC. Comments of the 6th. December 2011.
C	24.11.11	Plan amended as CBC. Comments of the 17th. November 2011.
B	16.11.	Site blue edge revised.
A	09.11.	Amended as planning comments.

**JYM**  
**partnership**  
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 Fax : 01772 338611  
 Email : jym@jympartnership.co.uk  
 www.jympartnership.co.uk

project:  
 Launcy Site.  
 Chorley.

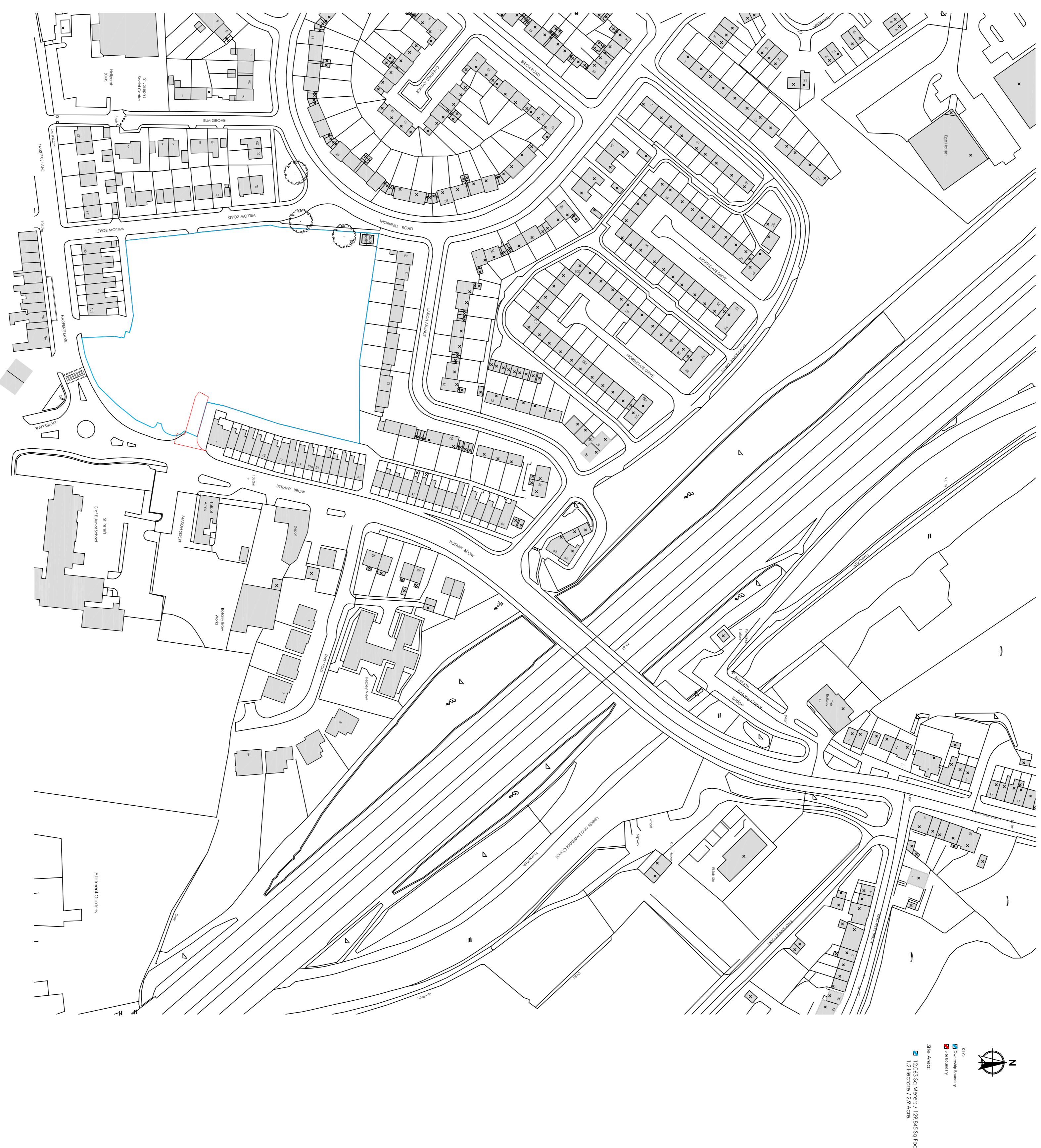
client:  
 Elmwood Construction LLP.

drawing title:  
 Site Plan.

scale:  
 1:250 of A1  
 drawn:  
 MS/CH.  
 checked:  
 CM.  
 date:  
 September 2011.  
 project no. / dfg. no.  
**0913 / 003**  
 rev.  
**F**



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Site Location Plan 1 : 1250

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Notes:

Rev	Date	Revision

**JYM** partnership

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project:  
 Residential Access Road,  
 Laundry Site,  
 Chorley.

client:  
 Elmwood Construction LLP.

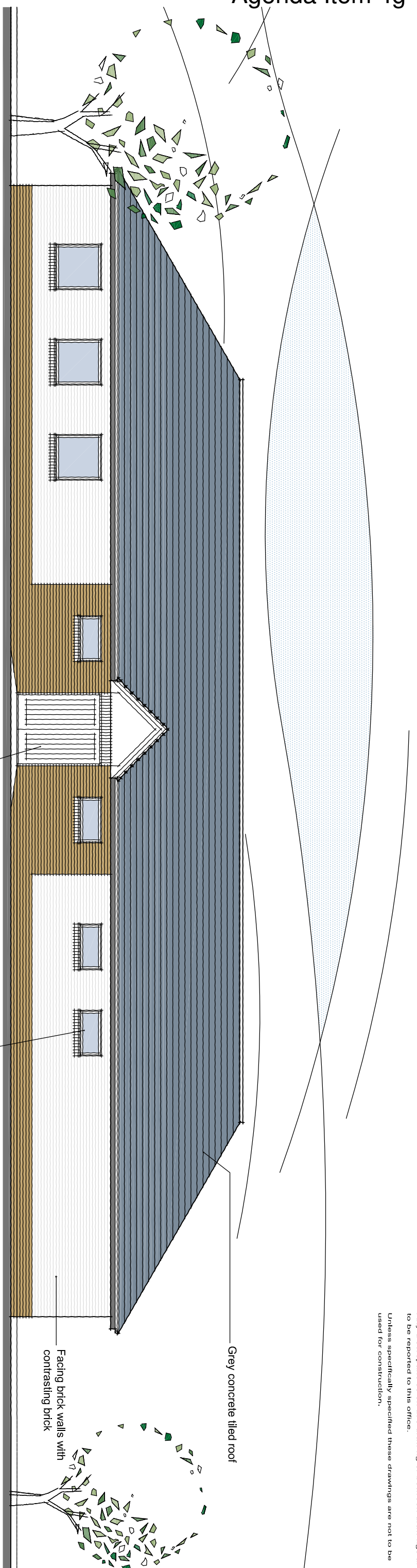
drawing title:  
 Site Location Plan.

scale: 1:250 of A1	checked: CM.
drawn: JLC.	date: September 2011.
project no. 0913	rev. 017

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ENTRANCE ELEVATION



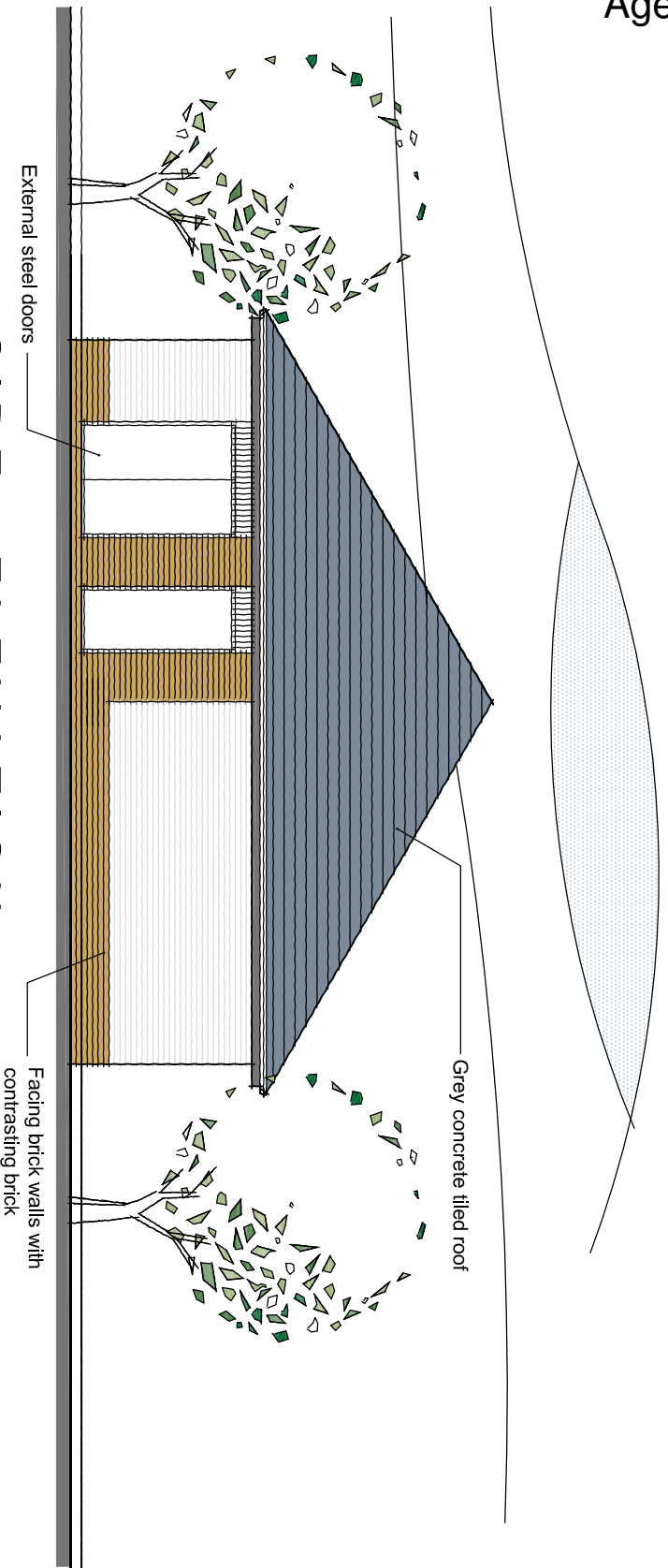
Grey concrete tiled roof

Facing brick walls with contrasting brick

Windows to be double glazed UPVA with electric shutters

External doors of hardwood construction with electric shutters

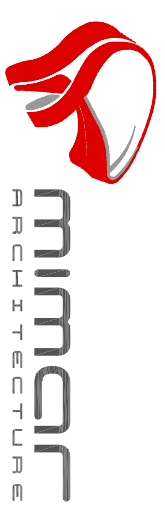
SIDE ELEVATION



Grey concrete tiled roof

External steel doors  
Facing brick walls with contrasting brick

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www.mimararchitecture.com  
The Polygon, 2 Stamford Road, Bowdon, Cheshire, WA14 2JU  
T: 0333 123 5115 e: info@mimararchitecture.com  
Company Reg No. 7241272

Project: Gillibrands Community Centre

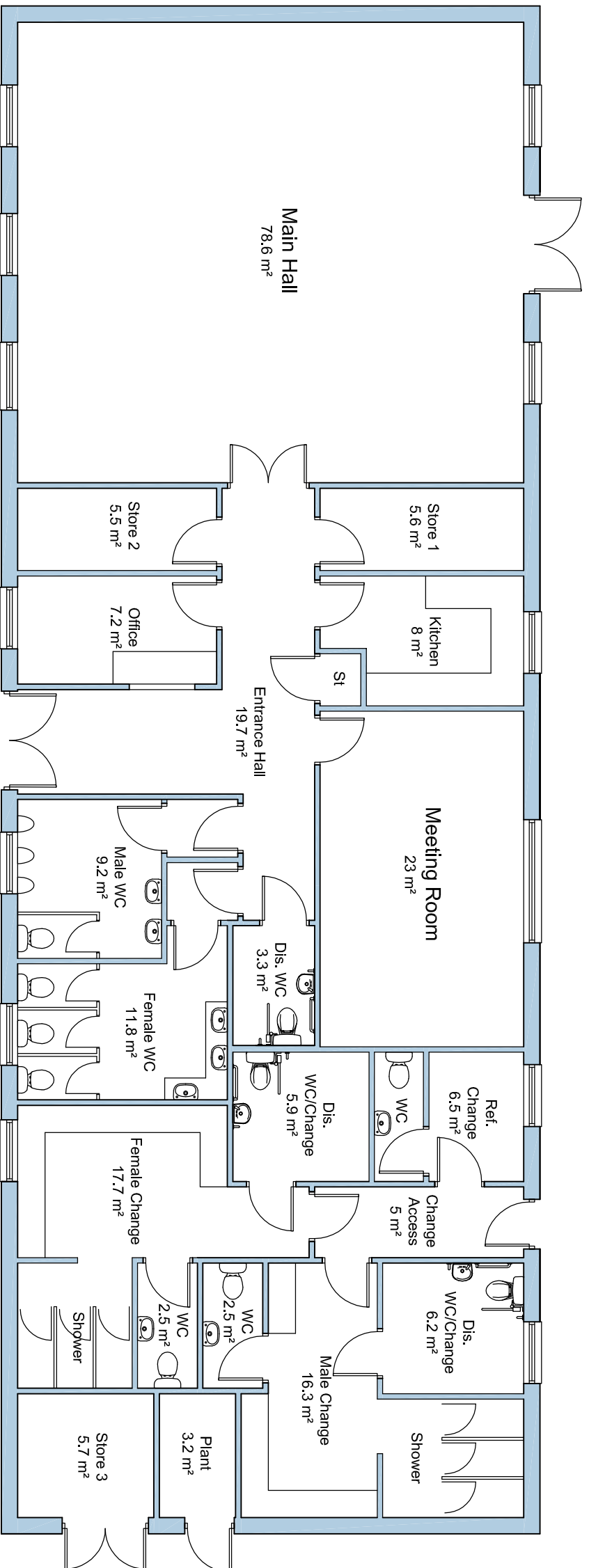
Client: Redrow - Taylor Wimpey

Drawing Title: Proposed Elevations

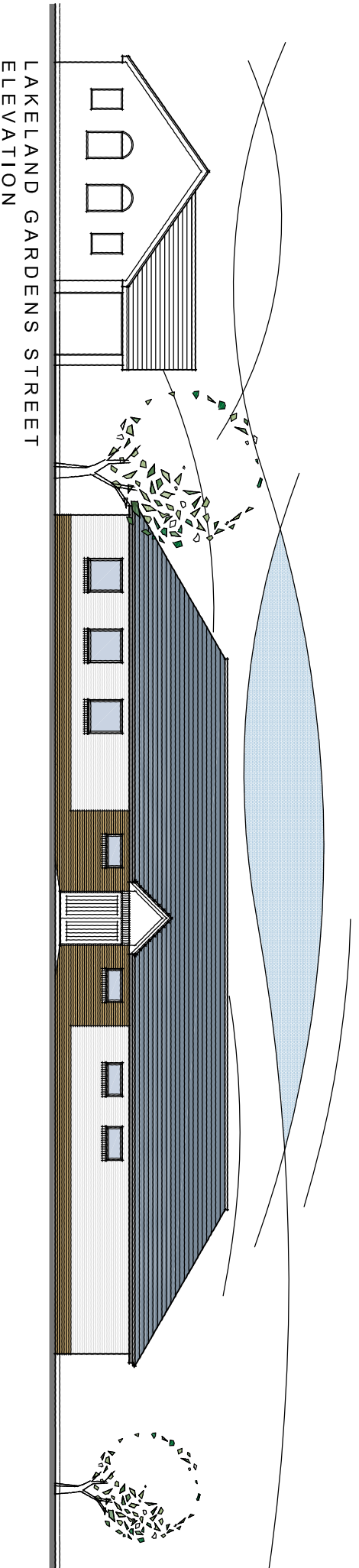
Project No.	Drawing No.	Scale	Revision	Date
0162	03	1:100	-	NOV 11

3a Burnett Street, Little Germany, Bradford  
BD1 5AP  
T: 0333 123 5115

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GROUND FLOOR PLAN



LAKELAND GARDENS STREET  
ELEVATION

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**Floor Area Schedule**

Main Hall -	78.6m <sup>2</sup>
Store Room 1 -	5.6m <sup>2</sup>
Store Room 2 -	5.5m <sup>2</sup>
Kitchen -	8m <sup>2</sup>
Office -	7.2m <sup>2</sup>
Meeting Room -	23m <sup>2</sup>
Entrance Hall -	19.7m <sup>2</sup>
Dis. WC -	3.3m <sup>2</sup>
Male WC -	9.2m <sup>2</sup>
Female WC -	11.8m <sup>2</sup>
Female Change/WC -	20.2m <sup>2</sup>
Male Change/WC -	18.8m <sup>2</sup>
Female Dis. wc -	5.9m <sup>2</sup>
Male Dis. wc -	6.2m <sup>2</sup>
Ref. change/wc -	6.5m <sup>2</sup>
Plant -	3.2m <sup>2</sup>
Store 3 -	5.7m <sup>2</sup>
Change/access -	5m <sup>2</sup>
<b>Total Area -</b>	<b>243.4 m<sup>2</sup></b>



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Company Reg No. 7241272

Project: **Gillibrands Community Centre**

Client: **Redrow - Taylor Wimpey**

Drawing Title: **Proposed Ground Floor Plan**

Project No.	Drawing No.	Scale	Revision.	Date.
0162	02	1:100	-	NOV 11

3a Burnett Street, Little Germany, Bradford  
BD1 5AP  
T: 0333 123 5115



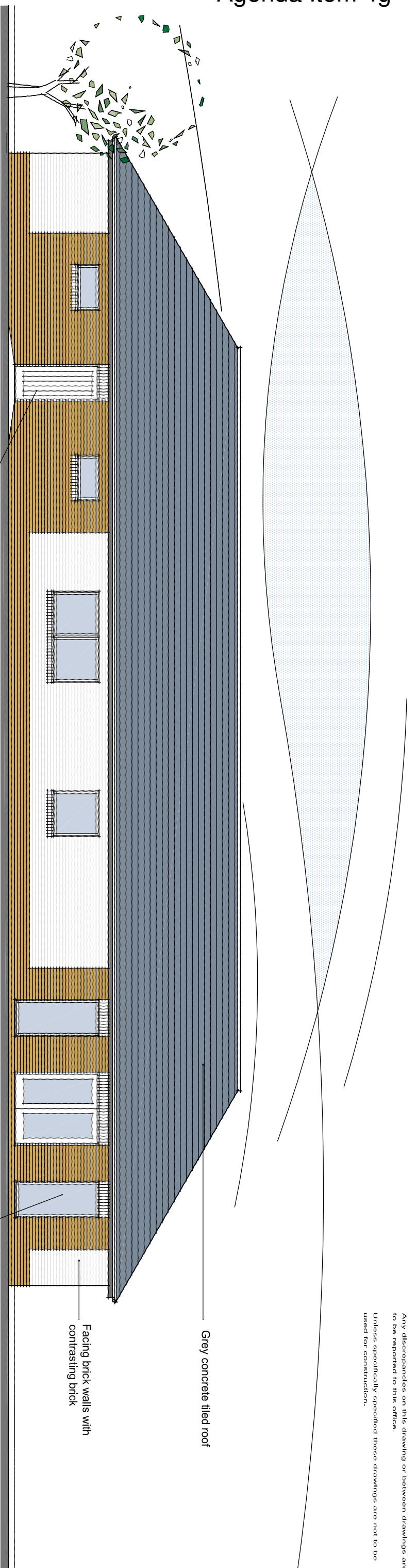


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REAR ELEVATION

External doors of hardwood construction with electric shutters

Windows to be double glazed UPVA with electric shutters



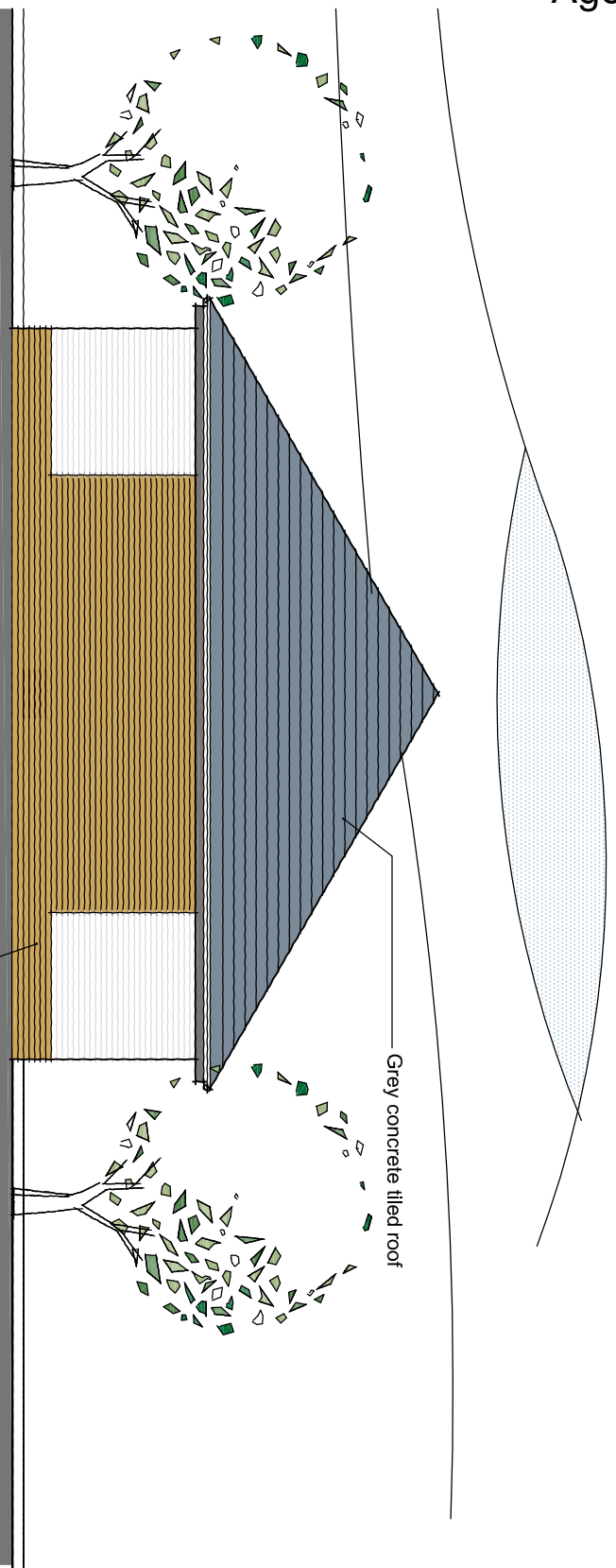
Grey concrete tiled roof

Facing brick walls with contrasting brick

SIDE ELEVATION

Facing brick walls with contrasting brick

Grey concrete tiled roof



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Company Reg No. 7241272

Project: **Gillibrands Community Centre**

Client: **Redrow - Taylor Wimpey**

Drawing Title: **Proposed Elevations**

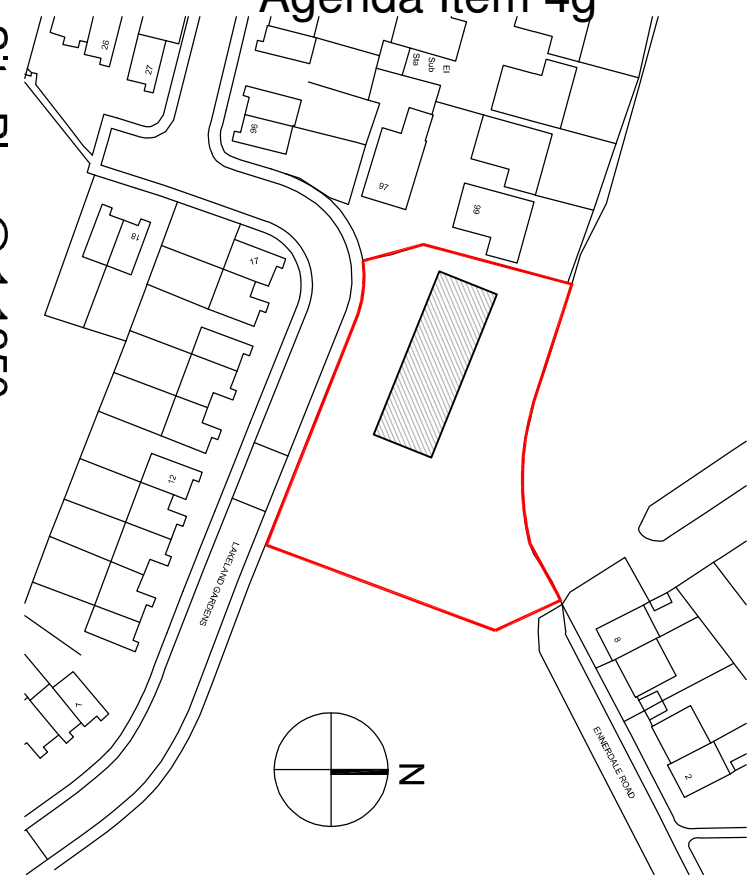
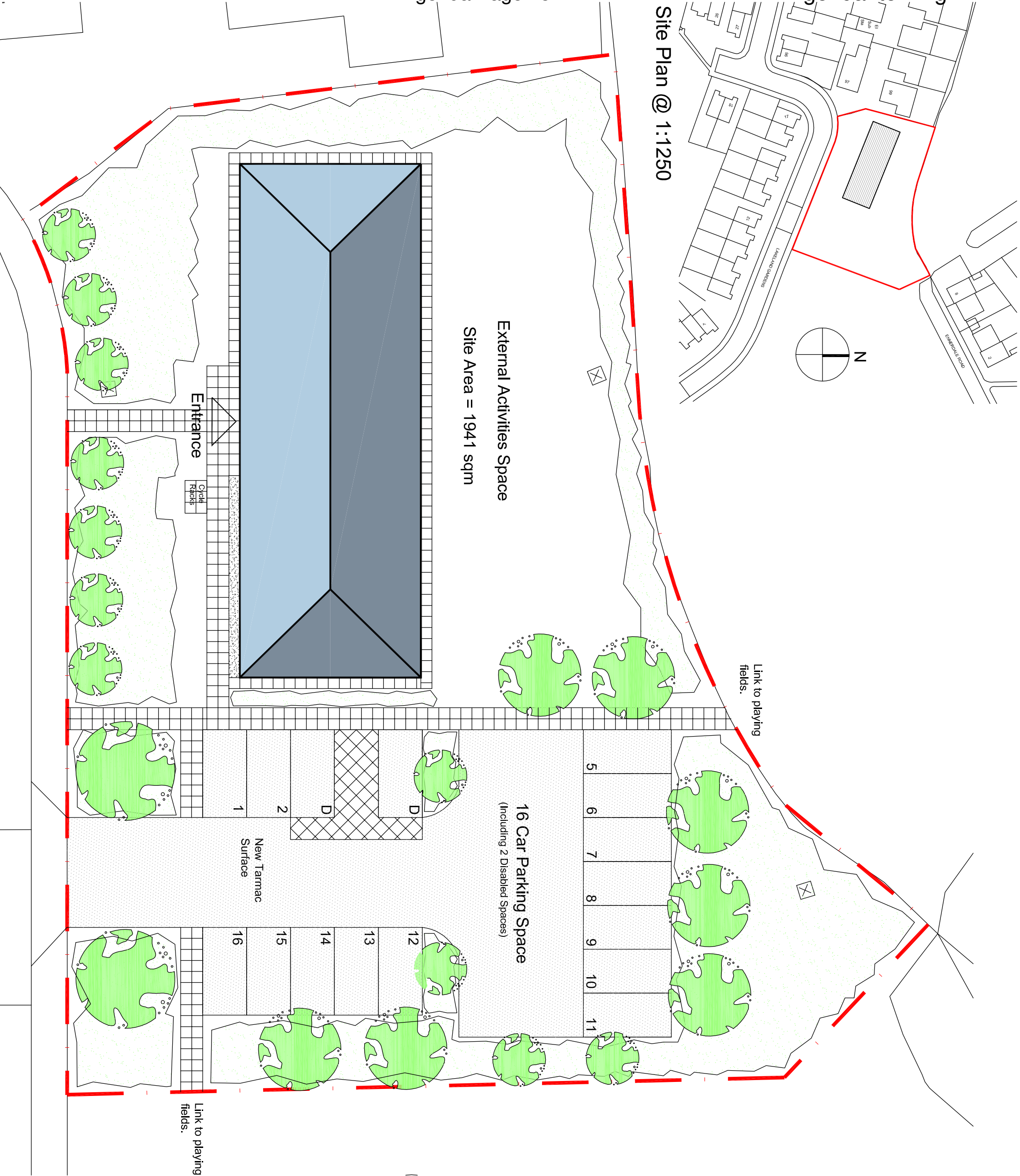
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0162	04	1:100	-	NOV 11

3a Burnett Street, Little Germany, Bradford  
BD1 5AP  
T: 0333 123 5115




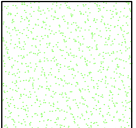
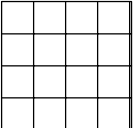
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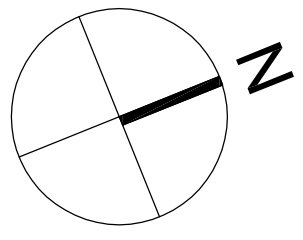
Site Plan @ 1:1250



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**Key to Areas**

-  Tarmac Access Road To Car Park
-  Landscape Area
-  Paving to LA Approval



www.mimararchitecture.com  
The Polygon, 2 Stamford Road, Bowdon, Cheshire, WA14 2JU  
T: 0333 123 5115 e:info@mimararchitecture.com  
Company Reg No. 7241272

Project: Gillibrands Community Centre

Client: Redrow - Taylor Wimpey

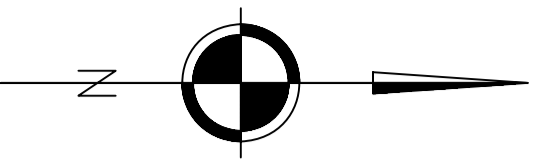
Drawing Title: Proposed Site Plan

Project No.	Drawing No.	Scale	Revision	Date
0162	01	1:200	-	NOV 11

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Land to field boundary and side of Plot 7 to be areas of native wildflower grassland (see ERAP Report).

3 rail field boundary fence see detail sheet 05036/03 fig. 1.

1.8m close boarded screen fence to field boundary between points A, B, C, D and E.

**Accommodation Schedule**

Ox	Oxford	1
Ca	Cambridge	2
Ri	Richmond	2
Ra	Raleigh	2
Cr	Cromwell	2
Nt	Newton	1
Sc	Scott	2
Et	Eton	1
<b>Total</b>		<b>14</b>

**Key:**

- Screen fence (see detail sheet dwg no. 05036.05)
- 1.8m close boarded screen fence (see detail sheet dwg no. 05036.01 fig 1)
- 215mm brick screen wall
- Brickwork piers with dwarf wall and close boarded screen fence infill panels. (see detail sheet dwg no. 05036.20)
- Indicates opposite hand to working drawing
- Trees to be retained.
- Existing building s to be demolished
- Shared drive areas
- 600mm. high Hawthorn hedge.

Rev	Date	Revision
L	08.12.11	Hawthorn hedge added
K	02.12.11	Additional car parking space added to Plot 3
J	01.12.11	Access and car parking amended Plots 1 and 2. 13 and 14. Plot 7 garage repositioned. 10m rear garden to Plot 7.F.F.s added.
I	21.09.11	Revised layout.
H	21.09.11	Highway amendments.
G	9.8.11	Driveway to plot 4 lengthened to 11.5m
F	2.8.11	Plots 9, 10 & 11 moved forward. Plot 8 Mfg to St.
E	2.8.11	Proposed floor levels added
D	2.8.11	Planning Comments added.
C	1.8.11	Highways comments endorsed.
B	21.07.11	Existing buildings to be demolished indicated and adjacent properties shown.
A	09.06.11	Existing

**WAINHOMES**

Cedarwood 2, Kelvin Close,  
Birtwood, Warrington,  
WA3 7PB

**grosvenor**  
architectural design

Duxbury Court, 42A Preston Road  
Standish, Wigan WN6 0HS

Tel : 01257 473638  
Web : www.GrosvenorArchitectural.co.uk  
E.Mail : enquiries@GrosvenorArchitectural.co.uk

**Project**  
**Wigan Road, Clayton le Woods.**

**Title**  
**Planning Layout**

Scale	Date	Ref	Drawn
1:500	MAY 2011	072.01.47	G.A.D.
Dwg No	<b>072.01.55.P01</b>		Rev <b>L</b>



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# SITE LOCATION PLAN.



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11/894

scale 1:1250



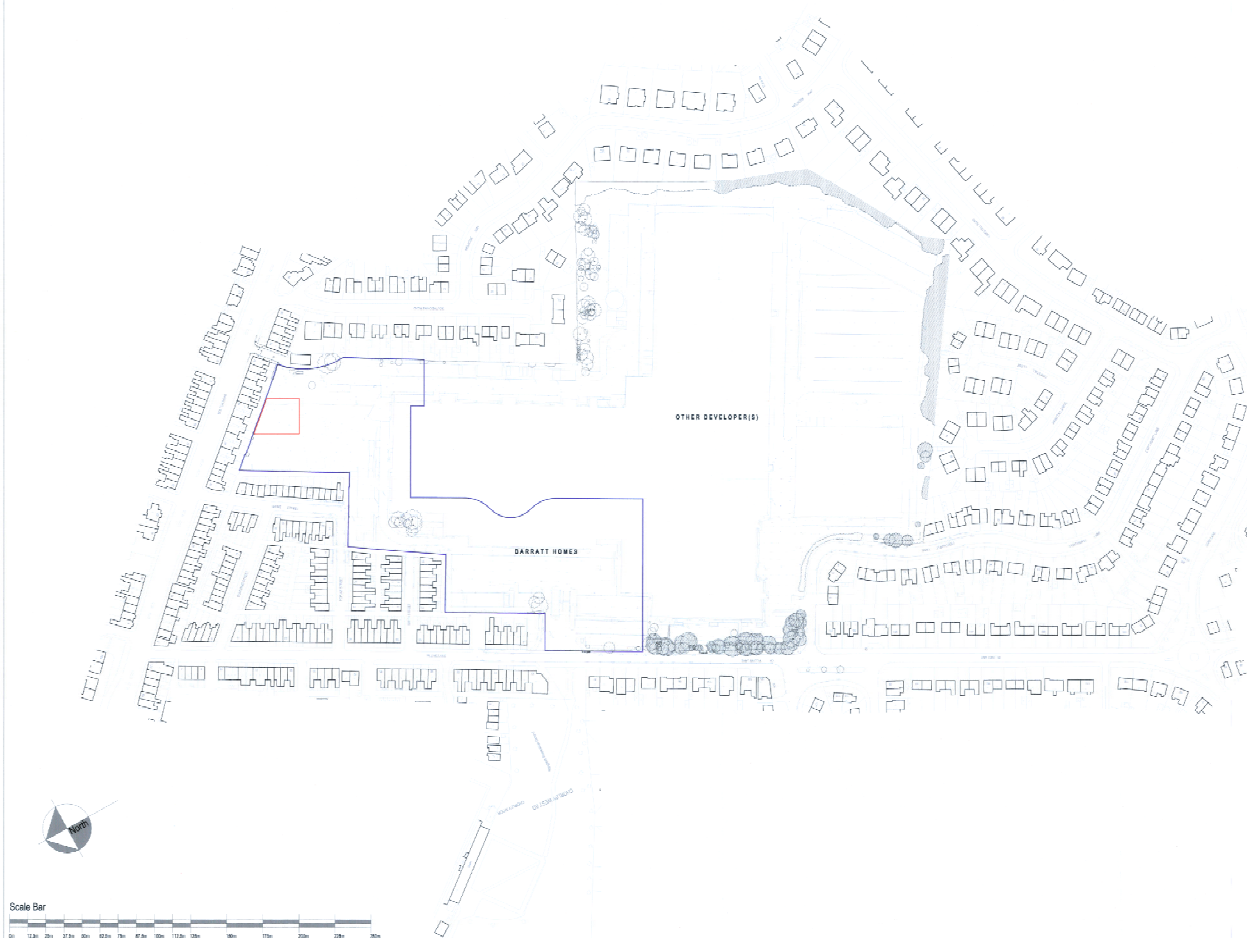
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# Pilling Lane - Chorley



**WARNING TO HOUSE PURCHASERS**  
 PROPERTY MANAGEMENT ACT 1991

There is a warning to house purchasers in relation to the above development. The title of the land is subject to a mortgage in favour of the lender. The lender has agreed to lend to the borrower on the basis of the above development. The borrower is advised that the lender is not responsible for the accuracy of the information provided in this plan. The borrower should seek professional advice before purchasing the property.

**KEY**

- RED EDGE: Proposed boundary
- BLUE LINE: Proposed boundary

Checked by: *[Signature]*  
 Date: 8 NOV 2011  
 1/10/11

  
**BARRATT HOMES**  
**MANCHESTER**

Barratt Homes Manchester  
 (A Division of BHM Trading Ltd)  
 4 Grosvenor Road  
 City Centre  
 MANCHESTER  
 M1A 2WD  
 Tel: 0161 872 8161  
 Fax: 0161 888 2828

---

JOB: Pilling Lane - Chorley

---

TITLE: Site Location Plan

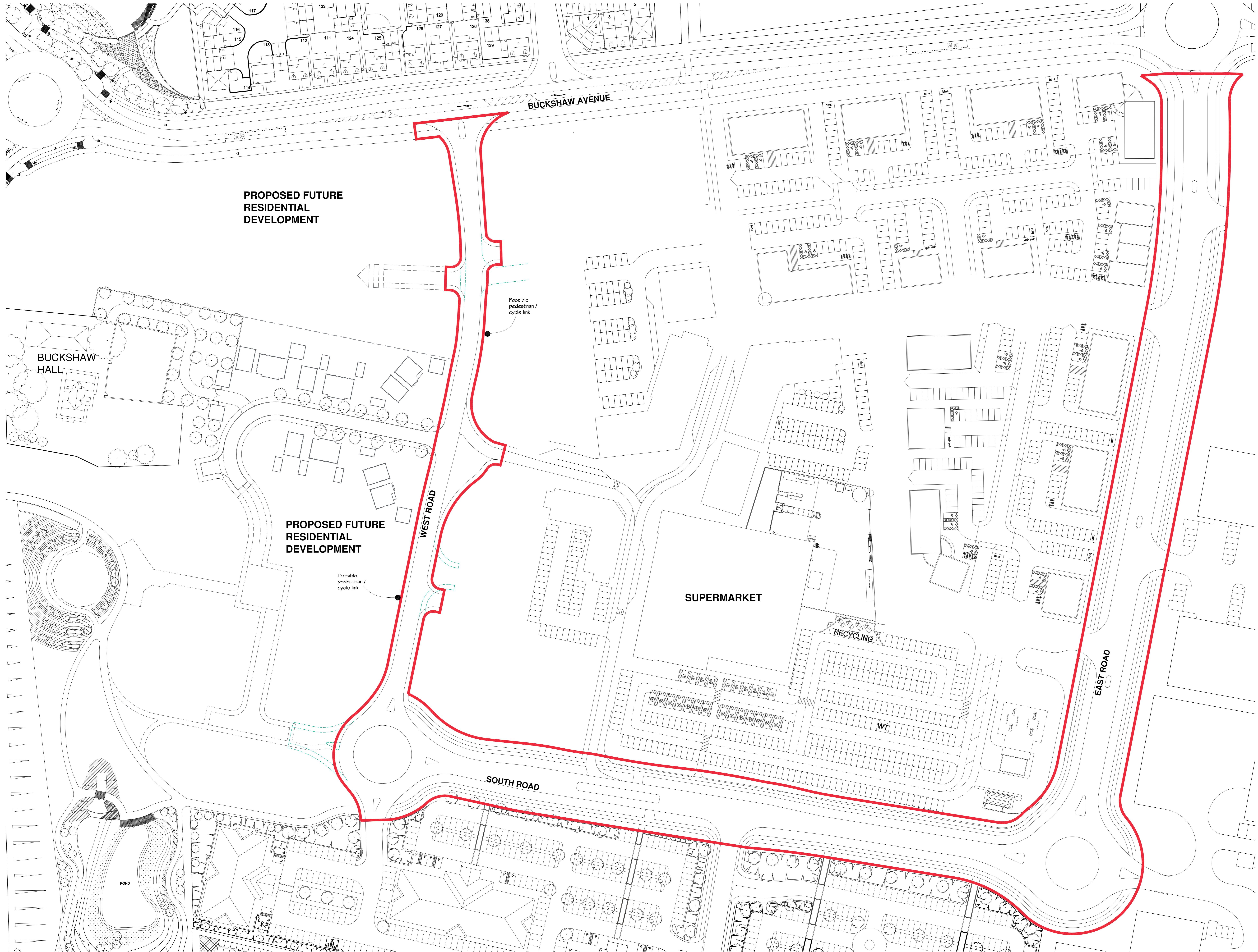
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DATE: 10/11/11	ISSUE: 001	DESCRIPTION: 4000SLP 00	SCALE: 1:1250

Site Location Plan | 1:1250



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**PROPOSED FUTURE  
RESIDENTIAL  
DEVELOPMENT**

**PROPOSED FUTURE  
RESIDENTIAL  
DEVELOPMENT**

**BUCKSHAW  
HALL**

**SUPERMARKET**

**RECYCLING**

**WEST ROAD**

**EAST ROAD**

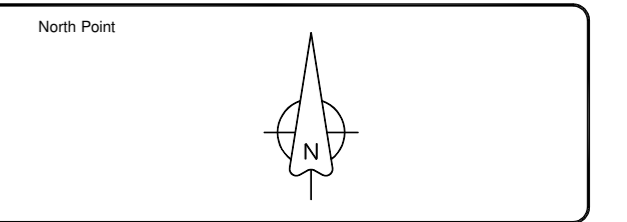
**SOUTH ROAD**

**BUCKSHAW AVENUE**

Possible pedestrian / cycle link

Possible pedestrian / cycle link

POND



- Planning Application Boundary
- ▭ Properties shown are indicative only.
- - - Roads shown dashed are indicative only.
- - - Locations of existing approved road junctions.

D	20/12/12	2 No. junctions removed on West Road to complete development.	CG
C	20/12/11	Site edge extended to encompass the whole of the site.	CG
B	20/11/11	Location of existing approved road indicated adjacent to residential.	CG
A	08/11/11	Final plan location amended in accordance with planning consent. Change number changed from 1 to 2 being replaced elsewhere.	CG

Development Name	<b>Buckshaw Southern Commercial off West Road, Buckshaw</b>
Location	off West Road, Buckshaw
Drawing Title	<b>Proposed Road Junction Site Layout</b>
Drawing Number	<b>BH-AR-005</b>
Revision	<b>D</b> Scale 1:500@A0
Drawn By	CG Date Started Nov 2011
Checked By	CG Date

**REDROW HOMES**  
 Redrow Homes Lancashire  
 Redrow House, 14 East Avenue, Blackburn, Lancashire, BB1 1TH, UK  
 Tel: 01752 842192 Fax: 01752 842193 Web: www.redrow.co.uk

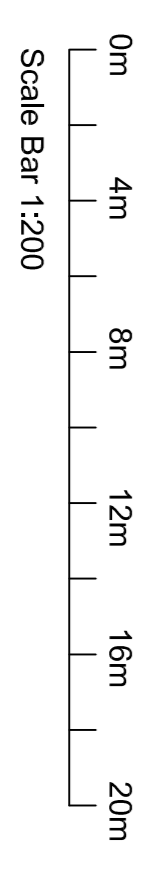
Legal Disclaimer 100  
 This report has been prepared after due consideration of our Contract & Conditions Plan



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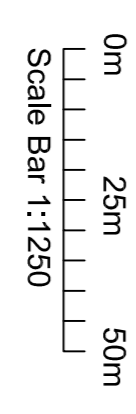
**SITE PLAN SCALE 1:200**



remove existing access and reinstate footpath in accordance with planning approval 07/00898/FUL



**LOCATION PLAN SCALE 1:1250**



**REVISIONS**  
A : plots 5, 6, 7 and 12 denoted; site plan now at 1:200

asl 26/09/11

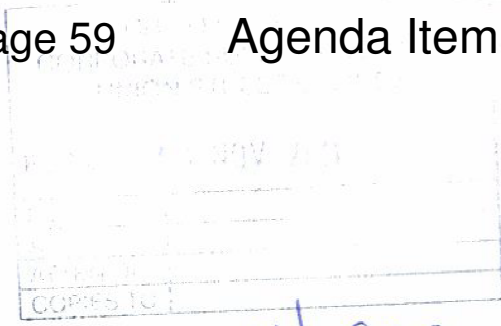
<b>CLIENT</b> W.Mansden & Sons		<b>ARCHITECTURAL CONSULTANTS</b> LMP 213 PRESTON ROAD WHITTLE E.WOODS LANCASHIRE RG7 7FS TEL: 01257 281555 www.lmparchitects.co.uk	
<b>PROJECT</b> Proposed residential development for 12 houses at 37-41 Wigan Road, Euxton, Chorley		<b>DRAWING TITLE</b> Proposed Full Planning Plots 5, 6, 7 & 12 Proposed Site Layout and Location Plan	
<b>DRAWING TITLE</b>	<b>DRAWN</b>	<b>DWG No.</b>	<b>REV</b>
08/07/10	asl	05/133/P10	A
<b>DATE</b>	<b>SCALE</b>	<b>AS SHOWN</b>	<b>AS1</b>
08/07/10	as shown@A1	asl	A



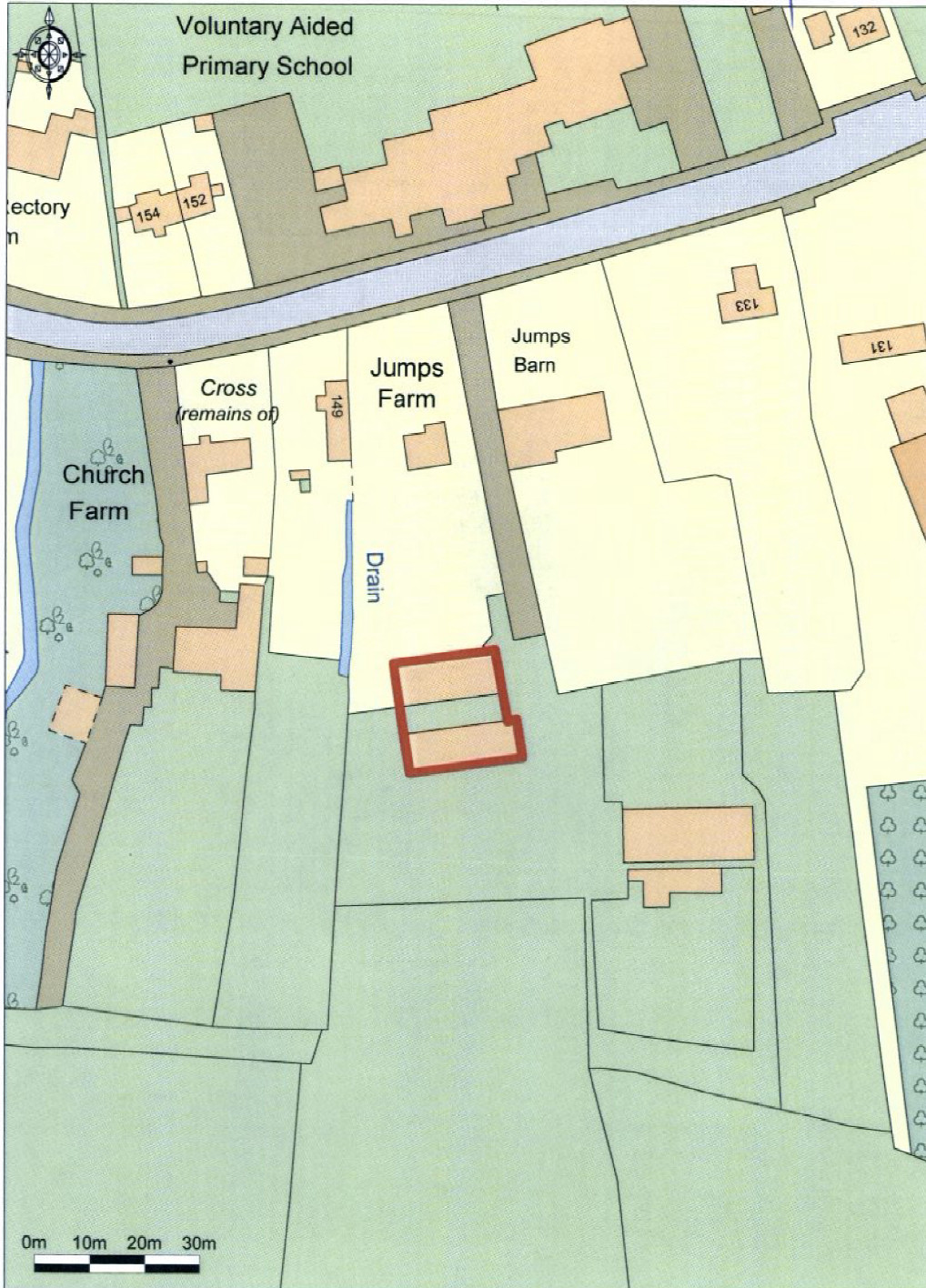
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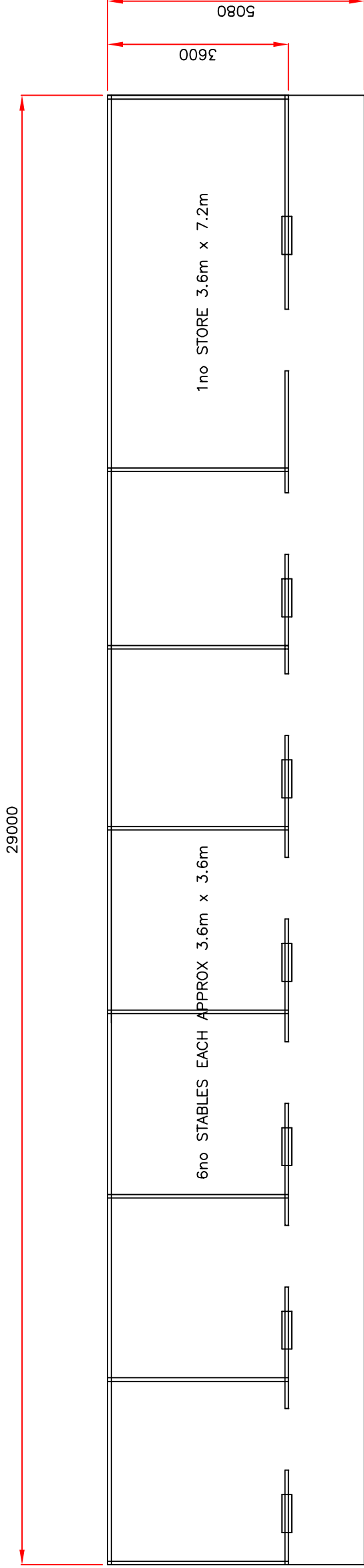


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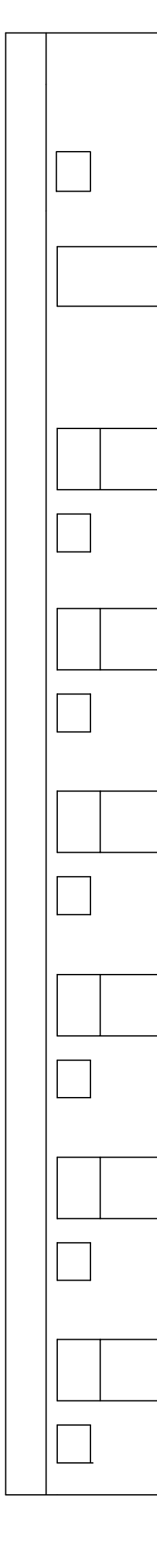
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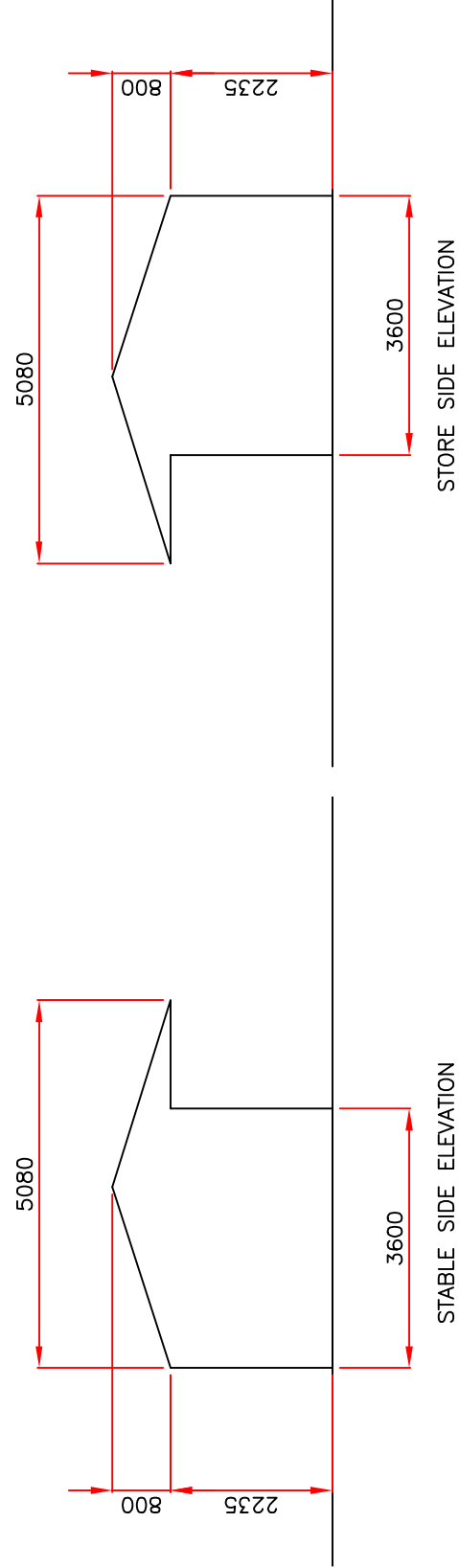
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PLAN ON STABLES AND STORE



FRONT ELEVATION ON STABLES AND STORE  
(Rear Elevation similar without Windows & Doors)



**SPECIFICATION**

**Stables & Store**  
Walls to be constructed using 68 x 38mm PAR timber studs spaced at 600mm c/c covered with pressure impregnated shiplap exterior cladding.  
Roof purlins are 88 x 38mm PAR timber using Jiffy joist holders on prefabricated trusses, then covered in black Onduline or similar roof sheeting.  
All fittings to be galvanised

**Sand Paddock**  
Sand covered area 20m x 40m surrounded by 3 bar timber fencing

Rev.	Date	By	Description

<b>Title</b>	Timber Stables & Sand Paddock - Plan & Elevations		
<b>Drawn</b>	ALN	<b>Date</b>	15.01.07
<b>Scales</b>	1/100	<b>Drawing Number</b>	101/116/162
<b>Rev.</b>		<b> </b>	

**Client**  
Mr & Mrs C Halton

**Project**  
Closegate Farm, Buckholes Lane, Higher Wheelton

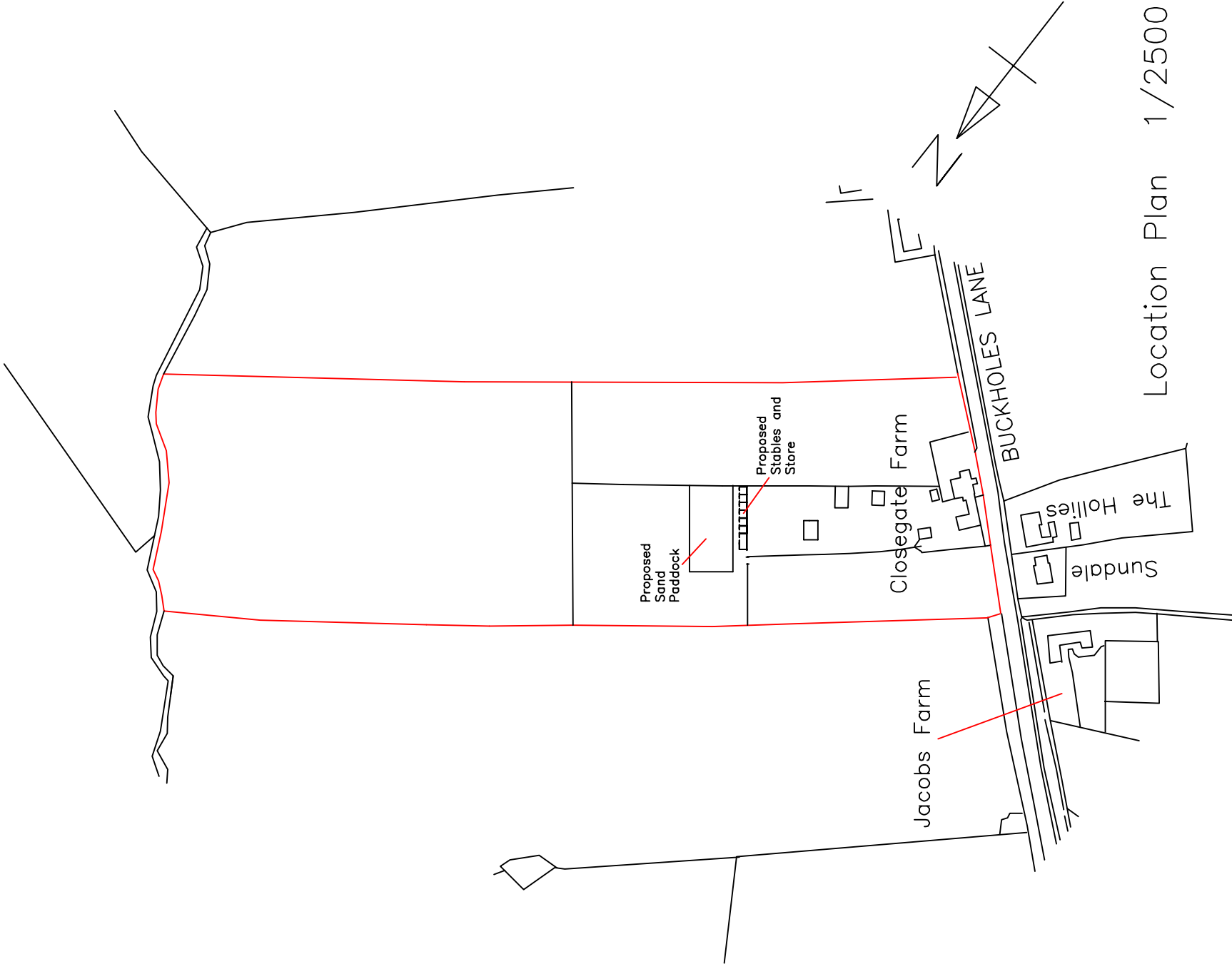
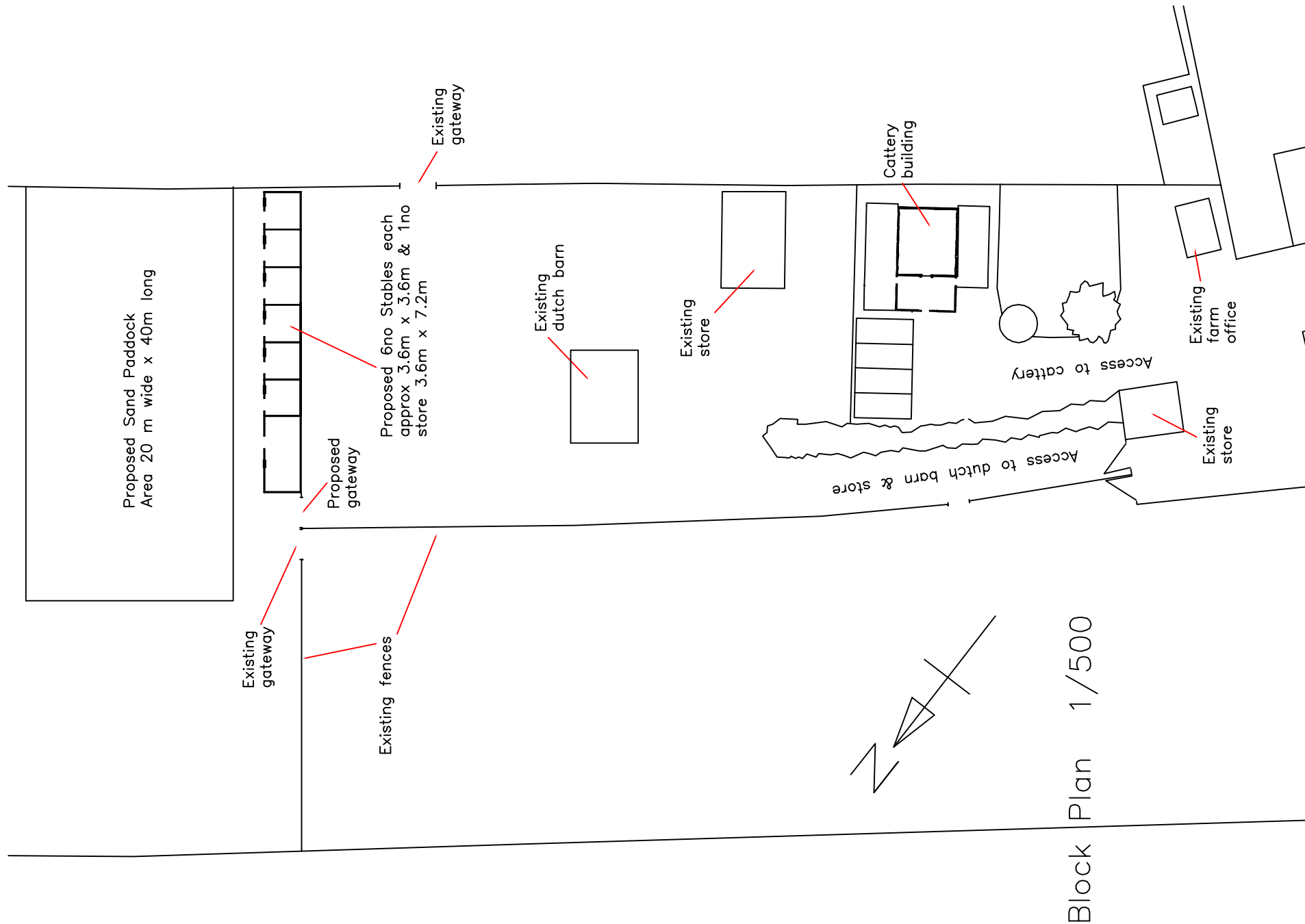
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**Project**  
Closegate Farm, Buckholes Lane, Higher Wheelton

Rev.	Date	By	Description

Drawn	Date	Scales	Drawing Number	Rev.
ALN	14.01.07	as drawn	101/116/161	

**Title**  
Timber Stables & Sand Paddock - Location & Block Plans



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